

File Date: 05-13-2018

Application Status: In Review

Application Type: Subdivision Final Plat

Application Detail: Detail

Description of Work: Construction of 51 single Family homes.

Application Name: Silverleaf Phase VI Plat

Address: 3730 SHIMMERING OAKS DR PREPLAT, FARRISH, 34219

Owner Name: PGC IV LLC

Owner Address: 3453 GARDENS CIR B SARASOTA, FL 34243

Parcel No: 7226560090000-1421522070

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	PGC IV LLC		Applicant	Mailing, 5800 Lakewood	Active
	ZNS Engineering	ZNS Engineering	Agent	Mailing, 201 5th Avenue	Active
	Jeb Mulock		Engineer	Mailing, 201 5th Avenue	Active

Licensed Professionals Info	Primary	License Number	License Type	Name	Business Name	Business License #
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Total Fee Assessed: \$10,335.00

Total Fee Invoiced: \$10,335.00

Balance: \$0.00

Custom Fields: Subdivision Final Plat Major

Project Information	Type of Development	Project Number	Total Project Area	Total Project Area Units
Residential	Residential	PDR-15-26-19-S-37(F)	22.53	Acres
Is Owner a Corporation or Trust?		Original/Re-issued Case Number	Number of Lots - Existing	Number of Lots - Proposed
Yes			0	51
Was there a Pre-Application Meeting?			Number of Residential Units - Existing	Number of Residential Units - Proposed
No				
Are there wetlands or native habitat in the project boundary?			MyLands Received	Flood Zone FIRM Panel
Yes				X A 12051C016CE

Location Information	Historic Status	Water Provider	Sewer Provider	Roads
	No	County	County	Private
	Historic Status Description		Site Description	

Existing Land Use (This Parcel)	Residential	Commercial	Industrial	Vacant	Other
Adjacent Land Use North	Residential	Commercial	Industrial	Vacant	Other
Adjacent Land Use East	Residential	Commercial	Industrial	Vacant	Other
Adjacent Land Use South	Residential	Commercial	Industrial	Vacant	Other

EXHIBIT "A"

Legal Description
Silverleaf, Phase VI:

A PARCEL OF LAND BEING A PORTION OF SECTION 1, TOWNSHIP 34 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF TRACT 700, SILVERLEAF PHASE 1A ACCORDING TO PLAT BOOK 57, PAGE 11 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE SOUTH 00°08'25" WEST, ALONG THE WEST LINE OF SAID TRACT 700, SAME BEING THE EAST LINE OF THE NORTHEAST ¼ OF SECTION 1, TOWNSHIP 34 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA, A DISTANCE OF 661.73 FEET; THENCE SOUTH 45°08'25" WEST, CONTINUING ALONG SAID WEST LINE OF TRACT 700, A DISTANCE OF 212.19 FEET TO THE BOUNDARY OF SILVERLEAF PHASE 1B ACCORDING TO PLAT BOOK 57, PAGE 43 OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE NORTH 89°51'35" WEST, ALONG SAID BOUNDARY OF SILVERLEAF PHASE 1B, A DISTANCE OF 346.24 FEET TO THE BOUNDARY OF AFORESAID SILVERLEAF PHASE 1A; THENCE ALONG SAID BOUNDARY OF SILVERLEAF PHASE 1A THE FOLLOWING TWELVE (12) COURSES: (1) NORTH 00°08'25" EAST, A DISTANCE OF 7.60 FEET TO A POINT ON A CURVE TO THE LEFT; (2) NORTHERLY 35.69 FEET ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 40°54'08", AND A CHORD BEARING AND DISTANCE OF NORTH 20°18'39" WEST 34.94 FEET; (3) NORTH 40°45'43" WEST, A DISTANCE OF 107.53 FEET; (4) NORTH 00°08'25" EAST, A DISTANCE OF 87.82 FEET; (5) SOUTH 90°00'00" WEST, A DISTANCE OF 173.10 FEET; (6) NORTH 00°21'09" EAST, A DISTANCE OF 50.00 FEET; (7) SOUTH 90°00'00" WEST, A DISTANCE OF 70.00 FEET; (8) NORTH 00°21'09" EAST, A DISTANCE OF 36.75 FEET TO A POINT ON A CURVE TO THE LEFT; (9) NORTHERLY 477.78 FEET ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 910.00 FEET, A CENTRAL ANGLE OF 30°04'56", AND A CHORD BEARING AND DISTANCE OF NORTH 14°41'19" WEST 472.31 FEET; (10) NORTH 29°43'48" WEST, A DISTANCE OF 25.00 FEET; (11) NORTH 15°16'12" EAST, A DISTANCE OF 141.42 FEET; (12) NORTH 29°43'48" WEST, A DISTANCE OF 25.00 FEET TO THE SOUTH RIGHT-OF-WAY OF U.S. HIGHWAY 301 ACCORDING TO FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 13020-000; THENCE NORTH 60°16'12" EAST, ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 1,073.10 FEET TO AFORESAID EAST LINE OF THE NORTHEAST ¼ OF SECTION 1; THENCE SOUTH 00°08'25" WEST, ALONG SAID EAST LINE, A DISTANCE OF 654.71 FEET TO THE POINT OF BEGINNING.

CONTAINING 22.528 ACRES.

CONCURRENCY CERTIFICATE OF LEVEL OF SERVICE COMPLIANCE
Public Works Department
Manatee County, Florida

Public facilities must serve land development adequately according to adopted level-of-service standards. This certificate verifies adequacy or exemption and will reserve impacts unless expired. It offers no other assurance, does not approve any development order and does not grant any development rights. It applies only to the identified proposed project and must accompany development order(s) for the project.

Date Issued: December 17, 2013 Expiration Date: April 14, 2023**

CERTIFICATE NUMBER: CLOS-13-029

Project Name: Silverleaf

Project File No.: LDA-09-03

Type of Development Order: Local Development Agreement

Location: Sec. 1 Twp. 34 Range 18

DP# 726820009, 502100209 Land Acres 274.01

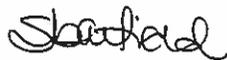
ADDRESS Silverleaf Blvd, NCT WATER TREATMENT PLANT N

MUST THE DEVELOPMENT ORDER CONTAIN CONDITIONS AND AGREEMENTS TO ASSURE COMPLIANCE? YES NO

Project must comply with conditions contained in LDA-09-03 and any amendments.

APPROVAL:

This development complies with the Comprehensive Plan Concurrency requirements:



Approved by: Public Works Dept., Transportation Planning Division
(Traffic circulation, mass transit, drainage, solid waste, parks)

*732 single family units

Associated Project numbers: PDR-11-14/FSP-13-04

Revised 2/1/2016 to include 60 day and 6 month extension granted with FS 252.363 request for Tropical Storm Erika (EO 15-173)

**Revised 2/24/2017 to include 60 day and 6 month extension granted with FS 252.363 request for Tropical Storm Hermine (EO 16-205 & 16-206)

ZNS|ENGINEERING

Land Planning Engineering Surveying Landscape Architecture

July 25, 2018

Case Manager
Manatee County Building and Development Services
1112 Manatee Ave. West 4th Floor
Bradenton, FL 34205

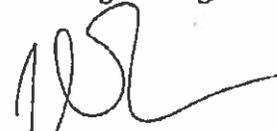
**Re: Silverleaf Phase VI Final Plat
ZNS Project No.: 44357**

This letter will certify that the following items are not a requirement of this Plat.

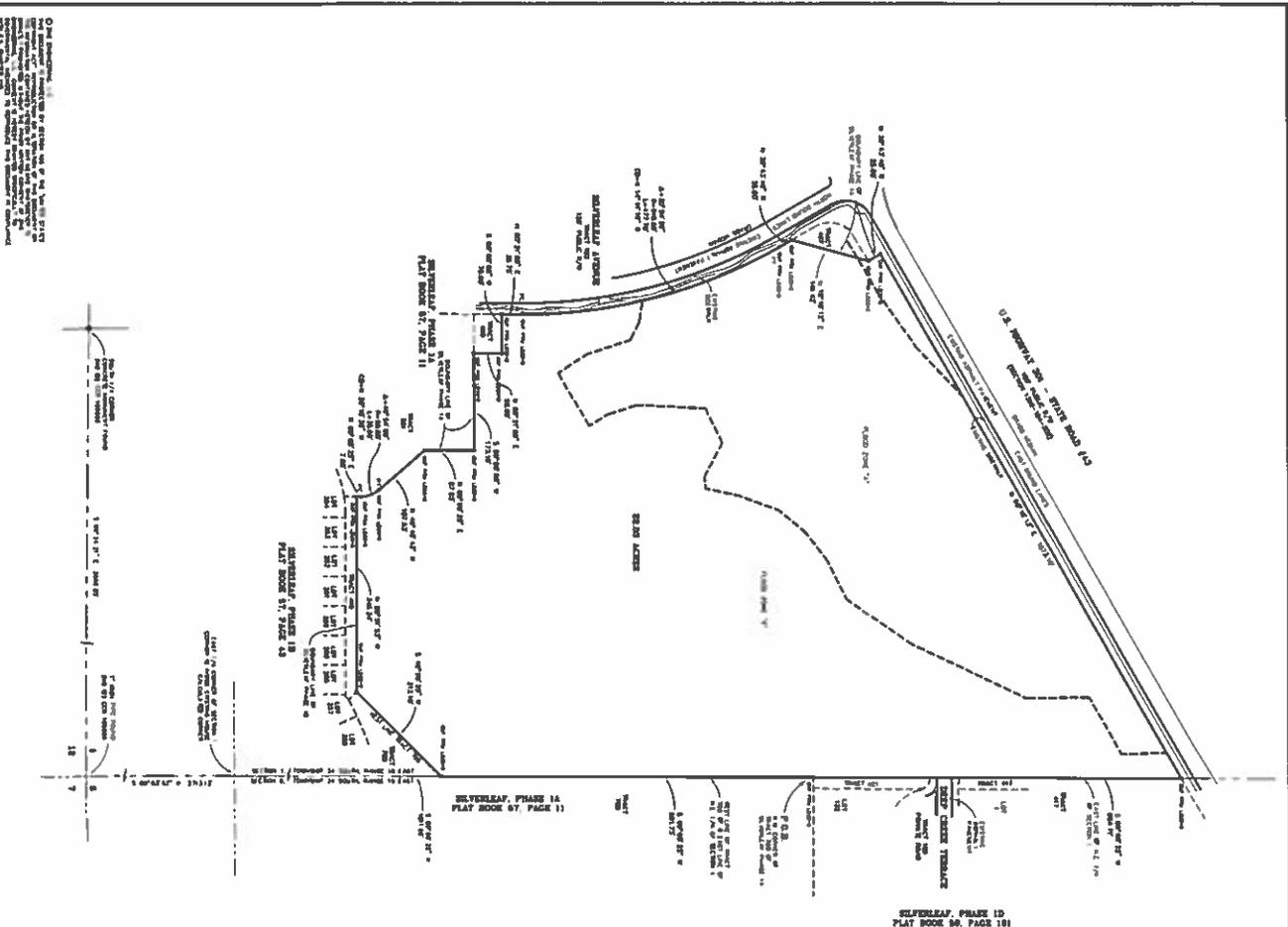
- There are no private improvements in the public right of way (paver brick, right of way islands, etc.)
- The POMD/BOS will be executed as a part of the Defect Turnover
- There are no off-site easements
- Infrastructure improvements will be bonded
- There is no Mortgage Joinder

We trust the above satisfies your requirements for Plat submittal. If you have any further questions, please contact us.

Sincerely,
ZNS Engineering, L.C.



Jeff C. Mulock, P.E.
President



LEGEND

- 1. 1/4 SECTION
- 2. 1/2 SECTION
- 3. 3/4 SECTION
- 4. SECTION
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- 100. SECTION

DESCRIPTION:

SECTION 1, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA.

1. THE PART OF THE SECTION 1, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA, AS SHOWN ON THE PLAT BOOK 86, PAGE 101, AND PLAT BOOK 87, PAGE 10, AND PLAT BOOK 87, PAGE 11, AND PLAT BOOK 87, PAGE 12, AND PLAT BOOK 87, PAGE 13, AND PLAT BOOK 87, PAGE 14, AND PLAT BOOK 87, PAGE 15, AND PLAT BOOK 87, PAGE 16, AND PLAT BOOK 87, PAGE 17, AND PLAT BOOK 87, PAGE 18, AND PLAT BOOK 87, PAGE 19, AND PLAT BOOK 87, PAGE 20, AND PLAT BOOK 87, PAGE 21, AND PLAT BOOK 87, PAGE 22, AND PLAT BOOK 87, PAGE 23, AND PLAT BOOK 87, PAGE 24, AND PLAT BOOK 87, PAGE 25, AND PLAT BOOK 87, PAGE 26, AND PLAT BOOK 87, PAGE 27, AND PLAT BOOK 87, PAGE 28, AND PLAT BOOK 87, PAGE 29, AND PLAT BOOK 87, PAGE 30, AND PLAT BOOK 87, PAGE 31, AND PLAT BOOK 87, PAGE 32, AND PLAT BOOK 87, PAGE 33, AND PLAT BOOK 87, PAGE 34, AND PLAT BOOK 87, PAGE 35, AND PLAT BOOK 87, PAGE 36, AND PLAT BOOK 87, PAGE 37, AND PLAT BOOK 87, PAGE 38, AND PLAT BOOK 87, PAGE 39, AND PLAT BOOK 87, PAGE 40, AND PLAT BOOK 87, PAGE 41, AND PLAT BOOK 87, PAGE 42, AND PLAT BOOK 87, PAGE 43, AND PLAT BOOK 87, PAGE 44, AND PLAT BOOK 87, PAGE 45, AND PLAT BOOK 87, PAGE 46, AND PLAT BOOK 87, PAGE 47, AND PLAT BOOK 87, PAGE 48, AND PLAT BOOK 87, PAGE 49, AND PLAT BOOK 87, PAGE 50, AND PLAT BOOK 87, PAGE 51, AND PLAT BOOK 87, PAGE 52, AND PLAT BOOK 87, PAGE 53, AND PLAT BOOK 87, PAGE 54, AND PLAT BOOK 87, PAGE 55, AND PLAT BOOK 87, PAGE 56, AND PLAT BOOK 87, PAGE 57, AND PLAT BOOK 87, PAGE 58, AND PLAT BOOK 87, PAGE 59, AND PLAT BOOK 87, PAGE 60, AND PLAT BOOK 87, PAGE 61, AND PLAT BOOK 87, PAGE 62, AND PLAT BOOK 87, PAGE 63, AND PLAT BOOK 87, PAGE 64, AND PLAT BOOK 87, PAGE 65, AND PLAT BOOK 87, PAGE 66, AND PLAT BOOK 87, PAGE 67, AND PLAT BOOK 87, PAGE 68, AND PLAT BOOK 87, PAGE 69, AND PLAT BOOK 87, PAGE 70, AND PLAT BOOK 87, PAGE 71, AND PLAT BOOK 87, PAGE 72, AND PLAT BOOK 87, PAGE 73, AND PLAT BOOK 87, PAGE 74, AND PLAT BOOK 87, PAGE 75, AND PLAT BOOK 87, PAGE 76, AND PLAT BOOK 87, PAGE 77, AND PLAT BOOK 87, PAGE 78, AND PLAT BOOK 87, PAGE 79, AND PLAT BOOK 87, PAGE 80, AND PLAT BOOK 87, PAGE 81, AND PLAT BOOK 87, PAGE 82, AND PLAT BOOK 87, PAGE 83, AND PLAT BOOK 87, PAGE 84, AND PLAT BOOK 87, PAGE 85, AND PLAT BOOK 87, PAGE 86, AND PLAT BOOK 87, PAGE 87, AND PLAT BOOK 87, PAGE 88, AND PLAT BOOK 87, PAGE 89, AND PLAT BOOK 87, PAGE 90, AND PLAT BOOK 87, PAGE 91, AND PLAT BOOK 87, PAGE 92, AND PLAT BOOK 87, PAGE 93, AND PLAT BOOK 87, PAGE 94, AND PLAT BOOK 87, PAGE 95, AND PLAT BOOK 87, PAGE 96, AND PLAT BOOK 87, PAGE 97, AND PLAT BOOK 87, PAGE 98, AND PLAT BOOK 87, PAGE 99, AND PLAT BOOK 87, PAGE 100.

BOUNDARY SURVEY OF PROPOSED SILVERLEAF, PHASE VI

SECTION 1, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA.

ZNSIENGINEERING

12345 Main Street, Manatee County, Florida 34455

Phone: (813) 123-4567 | Fax: (813) 123-4568

www.znsiengineering.com

DATE: 10/15/2024

BY: [Signature]

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CONTAINING 22.528 ACRES.



ENGINEER

Manatee County Public Works Department
Growth Management Engineering
1022 26th Avenue East
Bradenton, FL 34208
Phone: (941) 708-7450
www.mymanatee.org

July 16, 2018

APPROVED

By KARLA RIPLEY at 6:52 am, Jul 16, 2018

ZNS Engineering
201 – 5th Avenue Drive East
Bradenton, FL 34208

Attention: Jeb C. Mulock, P.E.

jebm@znseng.com

RE: **SILVERLEAF**
PHASE VI

(PDR-15-26(P)/17-S-45(P)/FSP-17-70) - (DTS #20170517) – (MEPS-071)
Construction Plan Approval – 61 Single Family Lots

Dear Mr. Mulock:

I have reviewed the above referenced "Construction Drawings" and the plans that are accepted by Storm Water Engineering, Traffic Engineering, Utility Engineering and Environmental Planning Department, which are hereby approved by Growth Management Engineering for construction. I am returning one (1) sets of plans marked "Approved" for your use.

These plans consist of the following sheets:

SHEET	DATED	LATEST REVISION
Sheet 1 (Cover)	-----	05/18/2018
Sheet 2	07/07/2017	05/18/2018
Sheet 3	07/07/2017	05/18/2018
Sheet 4	07/07/2017	05/18/2018
Sheet 5	07/07/2017	05/18/2018
Sheet 6	07/07/2017	06/20/2018
Sheet 7	07/07/2017	06/20/2018
Sheet 8	07/07/2017	05/18/2018
Sheet 9	07/07/2017	05/18/2018
Sheet 10	07/07/2017	05/18/2018
Sheet 11	07/07/2017	05/18/2018
Sheet 12	07/07/2017	05/18/2018
Sheet 12A	07/07/2017	06/20/2018
Sheet 13	07/07/2017	06/20/2018
Sheet 14	07/07/2017	06/20/2018
Sheet 15	07/07/2017	06/20/2018
Sheet 16	07/07/2017	05/18/2018

Public Works
Growth Management Engineering
1022 26th Avenue E., Bradenton, FL 34208
Phone number: (941) 708-7480 Ext. 7337

Sheet 17	07/07/2017	05/18/2018
Sheet 18	07/07/2017	06/20/2018
Sheet 19	07/07/2017	06/20/2018
Sheet 20	07/07/2017	06/20/2018
Sheet 21	07/07/2017	05/18/2018
Sheet 22	07/07/2017	05/18/2018
Sheet 23	07/07/2017	05/18/2018
Sheet 24	07/07/2017	06/20/2018
Sheet 25	07/07/2017	06/20/2018
Sheet 26	07/07/2017	06/20/2018
Sheet 27	07/07/2017	06/20/2018
Sheet 28	07/07/2017	06/20/2018
Sheet 29	07/07/2017	06/20/2018
Sheet 30	07/07/2017	06/20/2018
Sheet 31	07/07/2017	06/12/2018
Sheet 32	07/07/2017	06/12/2018
Sheet 33	07/07/2017	06/12/2018
Sheet 34	07/07/2017	06/12/2018

CONSTRUCTION IS NOT AUTHORIZED WITH THIS APPROVAL. Two separate inspections SHALL BE required after your receipt of this Approval Letter, and as appropriate, the FSP Sign-Off Letter AND your receipt of the STAMPED Construction Drawings and Signed FSP's. The first inspection shall occur BEFORE the start of ANY land clearing or construction activities:

A total of three separate inspections are required, two separate inspections by ERS staff are required prior to authorization of construction and/or land clearing activities and a final site inspection for removal of Erosion and Sediment Control (ESC) devices:

- 1. You are authorized to stake erosion and sediment control (ESC) device locations. After staking ESC measures, ERS staff must be contacted to inspect the staked locations.**
- 2. After the installation of ESC devices has been completed, a second inspection is required to ensure adequacy.**

Per Section 355.3 MLDC the applicant shall schedule an on-site meeting with staff from the Building and Development Services Department (ERS) and the Public Works Department, as well as the engineer of record and the contractor. Final approval of the ESCP and authorization of construction will be granted only after an on-site meeting has been conducted. The second inspection can be incorporated into the onsite meeting required by MCLDC Section 355.3.

- 3. After construction is complete, a third inspection is required to inspect that the area has been stabilized and all ESC devices have been removed from the project site.**

For inspection(s) contact Brittany Serafin at Brittany.Serafin@mymanatee.org (941) 748-4501 ext. 6204

Note: Approval of erosion control measures by Manatee County staff other than the Environmental Review Section does not constitute approval for construction to begin.

One copy of this approval letter and "Approved Construction Drawings" shall be located in a conspicuous place on the property as required by Section 722.3.3.1 of the Land Development Code.

Contact Ken LaBarr, Infrastructure Inspections Division Manager prior to the start of construction (941) 708-7450, Ext 7323 or email kenneth.labarr@mymanatee.org

Pursuant to Section 801.3.W of the LDC, sediment and erosion control measures are required for the development in order to control and minimize damage to downstream and adjacent property, the conveyance system, and to preserve water quality. No grading, and or clearing, except brush removal for surveying, or filling shall be commenced until all erosion and sedimentation measures have been applied to all the disturbed areas and specifically around any water bodies, watercourses, or wetlands.

Any offsite improvements within the Manatee County Right-Of-Way (ROW), if required, and as depicted on the approved Construction Plans and Final Site Plan, as applicable, shall require a

"Temporary Traffic Control Plan" (TTCP) based on the minimum requirements provided in the Manual Of Uniform Traffic Control Devices (MUTCD) and/or Manatee County Transportation Standard Detail 406.0 (Road/Lane Closure Procedures). The TTCP shall be submitted to Mr. Kenneth LaBarr, Infrastructure Inspections Division Manager prior to the start of said construction. Contact Mr. LaBarr at (941) 708-7450, Ext 7323 for specific requirements.

In accordance with **Resolution R-16-117**, establishing fees for "Land Development and Construction" permit fees, effective **December 1, 2016** a "Construction Drawing" (CD) review fee sum of **\$4,660.00** (Pd. 10/04/2017); and **Resolution R-16-117**, establishing fees for "Private Infrastructure Inspection" (PII), effective **December 1, 2016**, sum of **\$6,100.00** effective December 1, 2016, shall be paid prior to the *associated* "C.O." or "Final Plat" approval.

POST CONSTRUCTION REQUIREMENTS

A. UTILITIES: WATER AND WASTEWATER SYSTEMS:

Requirements for submittal of water and wastewater system Record Drawings for this project shall be as described in the **July 2, 2018** utility review acceptance letter from Mr. Robert Halbach, P.E., Manatee County Utilities Project Engineer to Mr. Jeb Mulock P.E., ZNS Engineering.

B. DRAINAGE, PAVING AND GRADING:

Requirements for submittal of drainage paving and grading Record Drawings shall be as described in the Manatee County Transportation Department Highway, Traffic & Stormwater Standards, 2007, Index #800.0 (As-Built Requirements).

RECORD DRAWINGS:

1. See **Public Works Transportation Standards Section 3.10 DRAINAGE, PAVING and GRADING RECORD DRAWINGS** for instructions and submittal procedures. To assist in expediting the "Paving, Grading and Drainage" "Record Drawing" **FINAL Submittal** and "Final Acceptance Letter", please provide two (2) sets of As-Built plans and one (1) CD Rom; directly to **Christian Zitzow, Public Works Stormwater Engineering Section**. Contact info: christian.zitzow@mymanatee.org or (941) 708-7450 ext. 7319.
2. See **Public Works Utility Standards Section 1.14 RECORD DRAWINGS** for instructions and submittal procedures. To assist in expediting the "Utility" "Record Drawing" for **FINAL Submittal** and "Final Acceptance Letter", please provide two (2) sets of As-Built plans; one (1) set of As-Built Mylars; and one (1) CD Rom; directly to **Paul Hull, Public Works Growth Management Engineering Section**. Contact info: paul.hull@mymantee.org or (941) 708-450 ext. 7230.

If we can be of further assistance, please contact me at 708-7450, Ext. #7337.

Sincerely,



Karla K. Ripley

Manatee County Public Works
Growth Management Engineering

Cc: Planning Records – Admin Bldg (GM File - 1 set of plans)
Kenneth LaBarr, MCPWD - 26th Ave. E. (1 set of plans)
Sia Molanazar, P.E., MCPWD - 26th Ave. E.
Thomas Gerstenberger, P.E., MCPWD – 26th Ave. E.



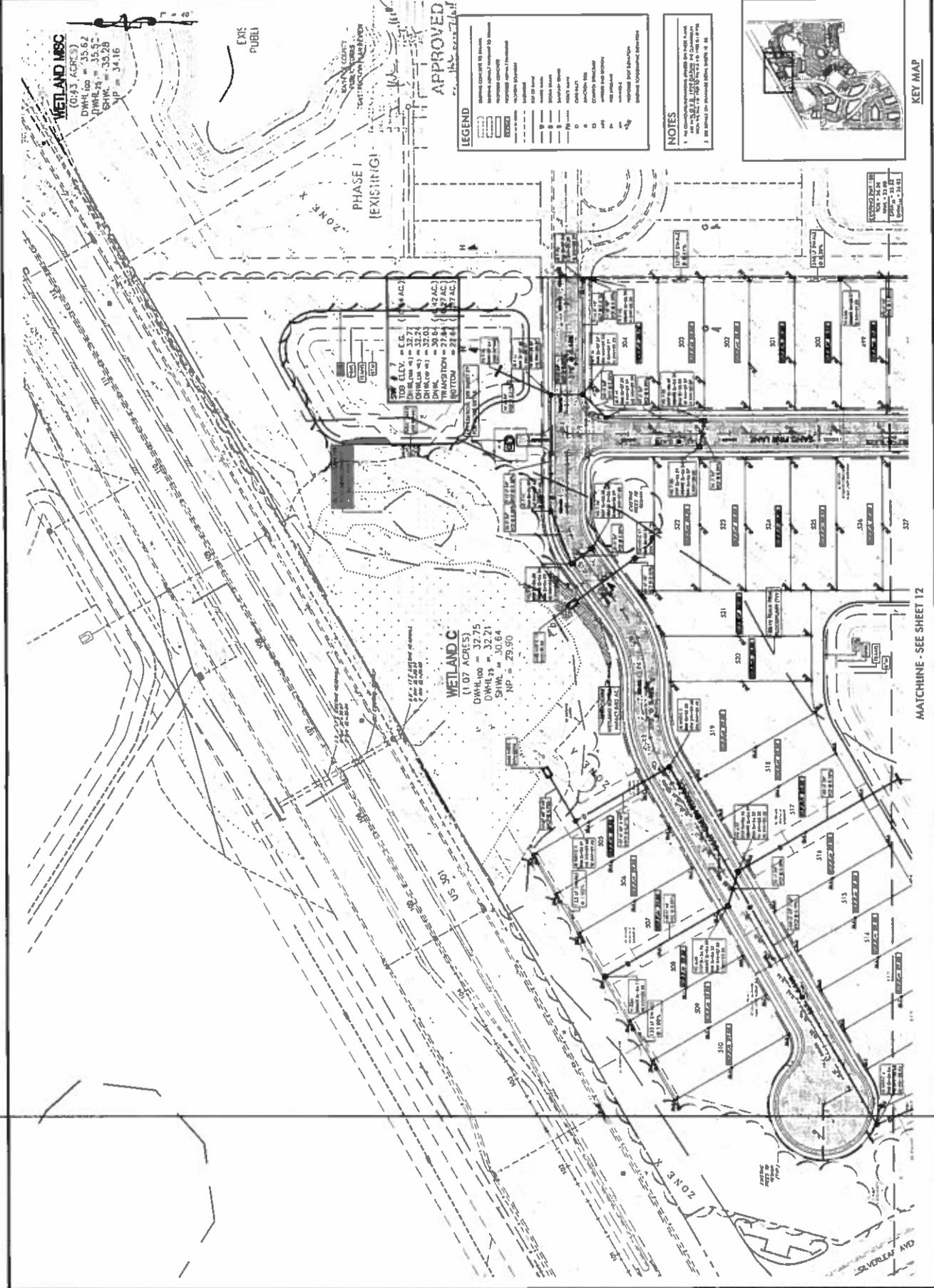
ZNS ENGINEERING
 LAND PLANNING ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 1000 N. 10th Street, Suite 100, Phoenix, AZ 85006
 Phone: (602) 955-1100
 Fax: (602) 955-1101
 www.zns-engineering.com

APPROVED
 11/15/2011
 11/15/2011

DRAINAGE AND GRADING PLAN
 FOR
SILVERLEAF PHASE VI
 LOCATED IN SECTION 01, TOWNSHIP 34 SOUTH, RANGE 18 EAST
 MARICOPA COUNTY, ARIZONA

DATE: 11/15/2011
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 SCALE: AS SHOWN
 SHEET NO. 12 OF 12

PROJECT NO. 11-0012
 CLIENT: SILVERLEAF DEVELOPMENT, LLC

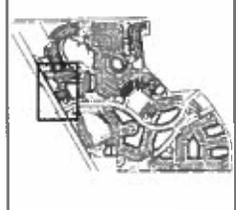


LEGEND

1	Proposed Concept 20' Right-of-Way
2	Proposed Concept 10' Right-of-Way
3	Proposed Concept 5' Right-of-Way
4	Proposed Concept 2' Right-of-Way
5	Proposed Concept 1' Right-of-Way
6	Proposed Concept 0.5' Right-of-Way
7	Proposed Concept 0.25' Right-of-Way
8	Proposed Concept 0.125' Right-of-Way
9	Proposed Concept 0.0625' Right-of-Way
10	Proposed Concept 0.03125' Right-of-Way
11	Proposed Concept 0.015625' Right-of-Way
12	Proposed Concept 0.0078125' Right-of-Way
13	Proposed Concept 0.00390625' Right-of-Way
14	Proposed Concept 0.001953125' Right-of-Way
15	Proposed Concept 0.0009765625' Right-of-Way
16	Proposed Concept 0.00048828125' Right-of-Way
17	Proposed Concept 0.000244140625' Right-of-Way
18	Proposed Concept 0.0001220703125' Right-of-Way
19	Proposed Concept 0.00006103515625' Right-of-Way
20	Proposed Concept 0.000030517578125' Right-of-Way
21	Proposed Concept 0.0000152587890625' Right-of-Way
22	Proposed Concept 0.00000762939453125' Right-of-Way
23	Proposed Concept 0.000003814697265625' Right-of-Way
24	Proposed Concept 0.0000019073486328125' Right-of-Way
25	Proposed Concept 0.00000095367431640625' Right-of-Way
26	Proposed Concept 0.000000476837158203125' Right-of-Way
27	Proposed Concept 0.0000002384185791015625' Right-of-Way
28	Proposed Concept 0.00000011920928955078125' Right-of-Way
29	Proposed Concept 0.000000059604644775390625' Right-of-Way
30	Proposed Concept 0.0000000298023223876953125' Right-of-Way
31	Proposed Concept 0.00000001490116119384765625' Right-of-Way
32	Proposed Concept 0.000000007450580596923828125' Right-of-Way
33	Proposed Concept 0.0000000037252902984619140625' Right-of-Way
34	Proposed Concept 0.00000000186264514923095703125' Right-of-Way
35	Proposed Concept 0.000000000931322574615478515625' Right-of-Way
36	Proposed Concept 0.0000000004656612873077392578125' Right-of-Way
37	Proposed Concept 0.00000000023283064365386962890625' Right-of-Way
38	Proposed Concept 0.000000000116415321826934814453125' Right-of-Way
39	Proposed Concept 0.000000000058207660913467407171875' Right-of-Way
40	Proposed Concept 0.0000000000291038304567337035859375' Right-of-Way
41	Proposed Concept 0.00000000001455191522836685179296875' Right-of-Way
42	Proposed Concept 0.000000000007275957614183425896484375' Right-of-Way
43	Proposed Concept 0.0000000000036379788070917126472421875' Right-of-Way
44	Proposed Concept 0.00000000000181898940354585632362109375' Right-of-Way
45	Proposed Concept 0.000000000000909494701772928161810546875' Right-of-Way
46	Proposed Concept 0.0000000000004547473508864129257552734375' Right-of-Way
47	Proposed Concept 0.00000000000022737367544320646287763671875' Right-of-Way
48	Proposed Concept 0.000000000000113686837721603231413818359375' Right-of-Way
49	Proposed Concept 0.0000000000000568434188608016157069091796875' Right-of-Way
50	Proposed Concept 0.00000000000002842170943040080785345458984375' Right-of-Way
51	Proposed Concept 0.00000000000001421085471520040392672729471875' Right-of-Way
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53	Proposed Concept 0.0000000000000035527136788001009816818236796875' Right-of-Way
54	Proposed Concept 0.0000000000000017763568394000504908409118984375' Right-of-Way
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57	Proposed Concept 0.00000000000000022204460492500631135613736796875' Right-of-Way
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99	Proposed Concept 0.0000000000000000000000000000504870068904857722109375' Right-of-Way
100	Proposed Concept 0.00000000000000000000000000002524350344524288610546875' Right-of-Way

NOTES

1. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PHOENIX STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AND THE ARIZONA STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



KEY MAP

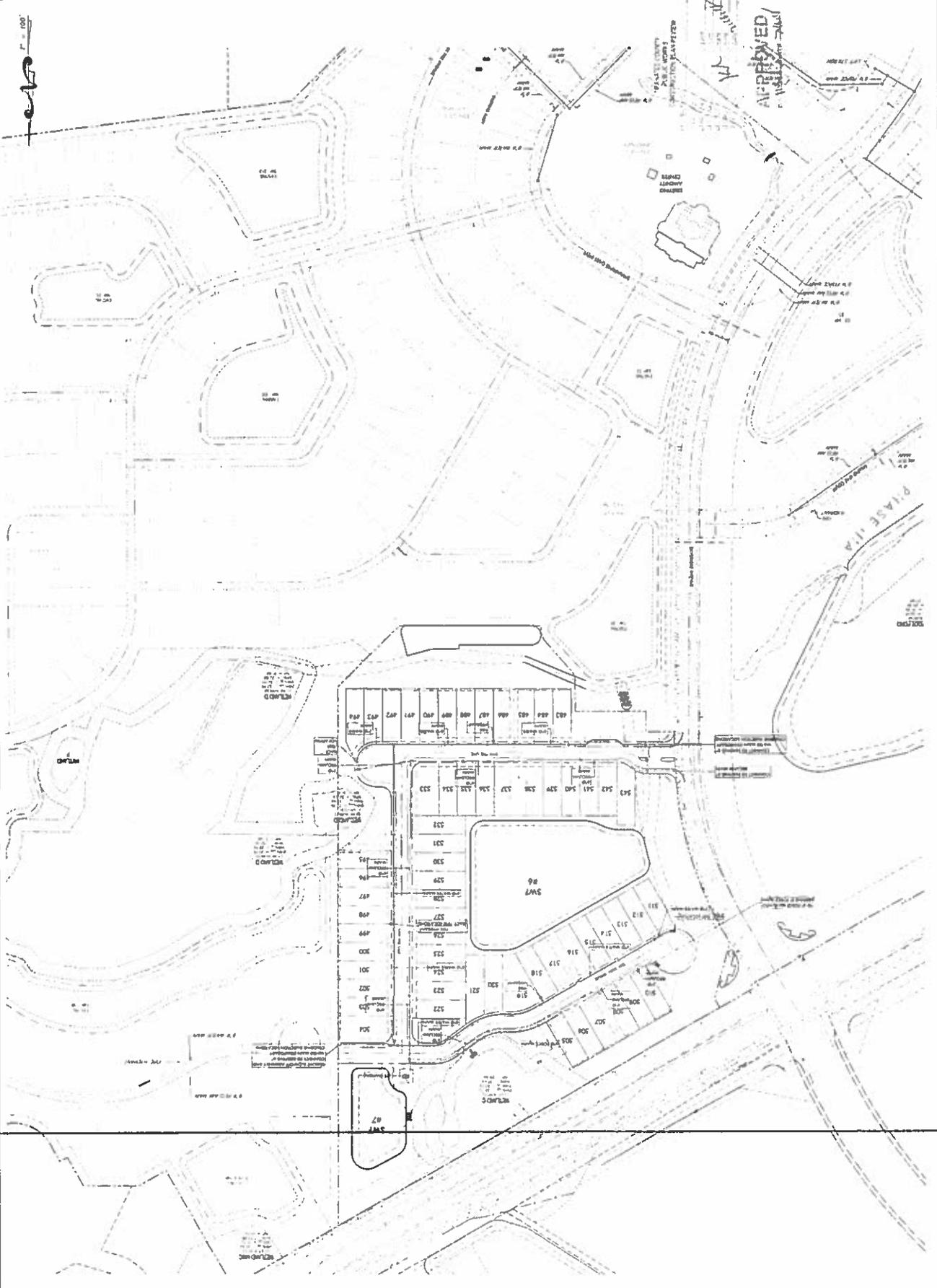
MATCHLINE - SEE SHEET 12

SECTION 17, TOWNSHIP 24 SOUTH, RANGE 18 EAST
 MAHARDE COUNTY, FLORIDA
 LOCATION
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**MASTER WATER & SEWER PLAN
 SILVERLEAF PHASE VI**

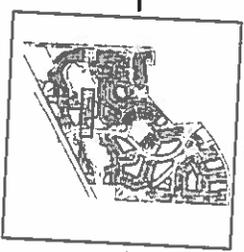
DESIGN AMERICAN STANDARD CODES
 THE AMERICAN STANDARD CODES FOR THE
 DESIGN OF SEWER COLLECTION SYSTEMS
 ARE TO BE USED IN THE DESIGN OF THIS
 PROJECT. THE DESIGNER SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS
 FROM THE APPROPRIATE AGENCIES.
 THE DESIGNER SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS FROM
 THE APPROPRIATE AGENCIES.
 THE DESIGNER SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS FROM
 THE APPROPRIATE AGENCIES.

ZNS ENGINEERING
 LAND PLANNING ENGINEERING SUBSTANTIAL LANDSCAPE ARCHITECTURE

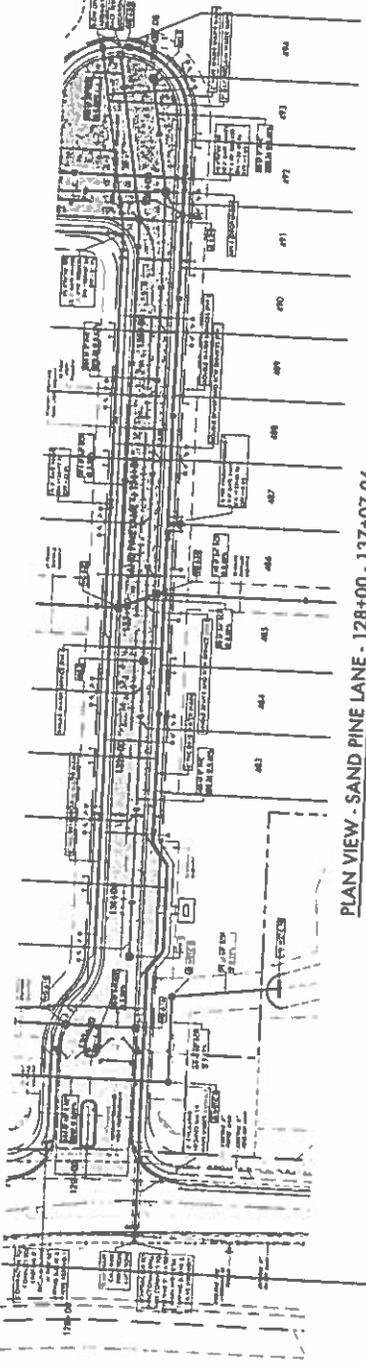


- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 08/14/18 | ISSUED FOR PERMITS |
| 2 | 08/14/18 | ISSUED FOR PERMITS |
| 3 | 08/14/18 | ISSUED FOR PERMITS |
| 4 | 08/14/18 | ISSUED FOR PERMITS |
| 5 | 08/14/18 | ISSUED FOR PERMITS |
| 6 | 08/14/18 | ISSUED FOR PERMITS |
| 7 | 08/14/18 | ISSUED FOR PERMITS |
| 8 | 08/14/18 | ISSUED FOR PERMITS |
| 9 | 08/14/18 | ISSUED FOR PERMITS |
| 10 | 08/14/18 | ISSUED FOR PERMITS |

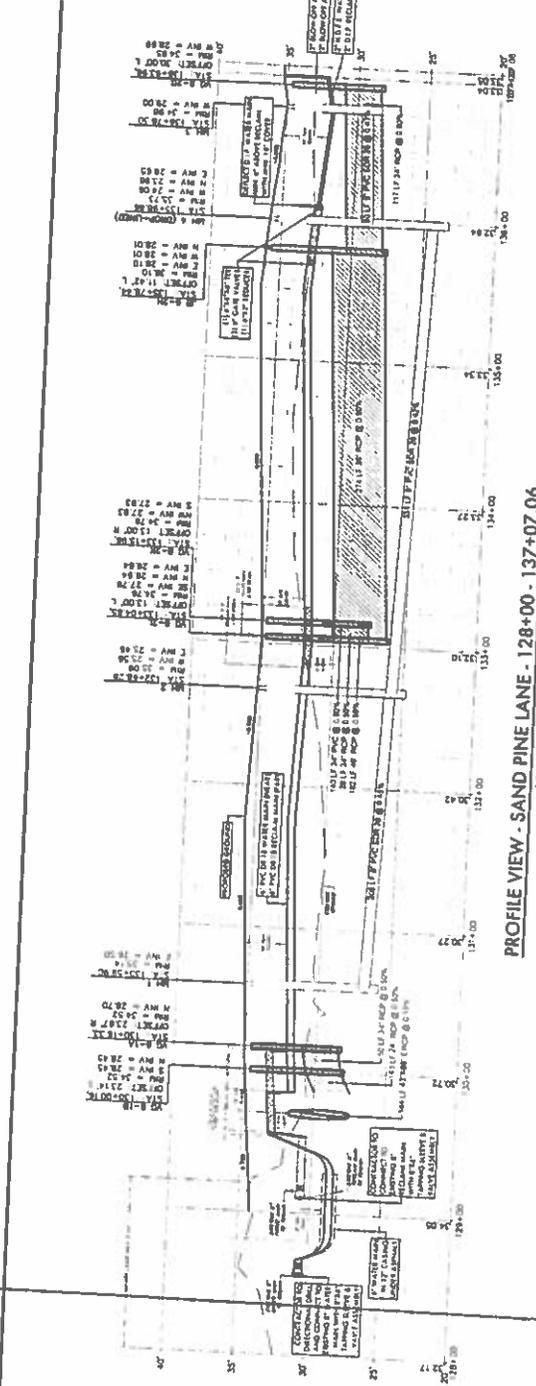
- LEGEND**
- 1. PROPOSED ROADWAY
 - 2. EXISTING ROADWAY
 - 3. PROPOSED SIDEWALK
 - 4. EXISTING SIDEWALK
 - 5. PROPOSED BIKEWAY
 - 6. EXISTING BIKEWAY
 - 7. PROPOSED UTILITY
 - 8. EXISTING UTILITY
 - 9. PROPOSED FENCE
 - 10. EXISTING FENCE
 - 11. PROPOSED SIGN
 - 12. EXISTING SIGN
 - 13. PROPOSED LIGHT
 - 14. EXISTING LIGHT
 - 15. PROPOSED TREE
 - 16. EXISTING TREE
 - 17. PROPOSED LANDSCAPE
 - 18. EXISTING LANDSCAPE
 - 19. PROPOSED EROSION CONTROL
 - 20. EXISTING EROSION CONTROL



APPROVED
 [Signature]
 PROJECT MANAGER
 [Signature]
 CIVIL ENGINEER



PLAN VIEW - SAND PINE LANE - 128+00 - 137+07.06
SCALE 1"=40'



PROFILE VIEW - SAND PINE LANE - 128+00 - 137+07.06
SCALE 1"=40' V. 1"=100' H.

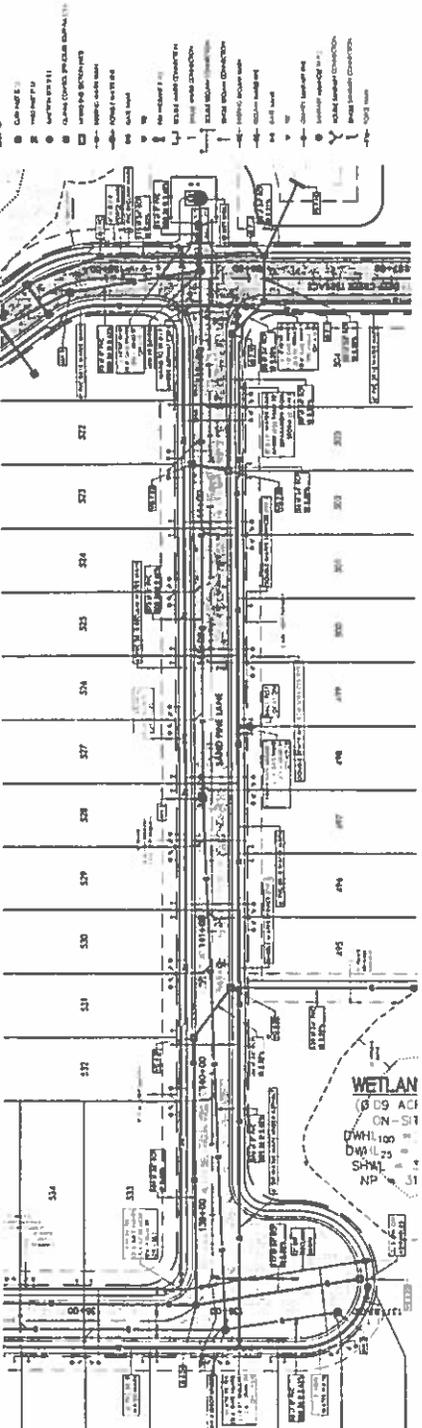


ZNS ENGINEERING
 LAND PLANNING ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

DATE: 08/11/2010
 PROJECT: SAND PINE LANE - 138+00 - 145+85.89
 DRAWING: PLAN & PROFILES
 SHEET: 79

SILVERLEAF PHASE VI
 PLAN & PROFILES
 LOCATION: SECTION 81, TOWNSHIP 24 NORTH, RANGE 18 EAST, HUALAIE COUNTY, HAWAII

DATE	08/11/2010
BY	J.M.
CHECKED	J.M.
SCALE	1"=40'

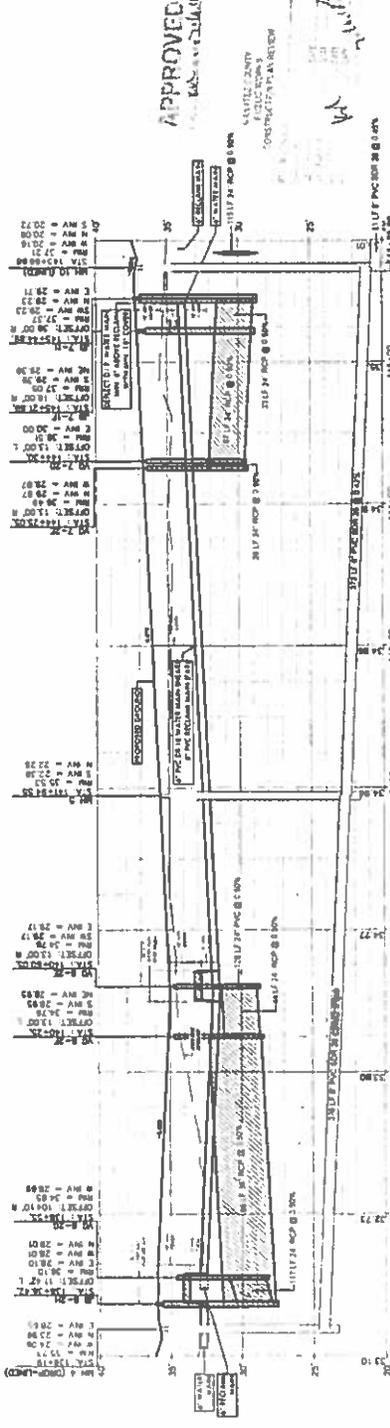


PLAN VIEW - SAND PINE LANE - 138+00 - 145+85.89
 SCALE: 1"=40'

*NO VALVES ARE TO BE INSTALLED IN THE SIDEWALK HANDICAP BAMP

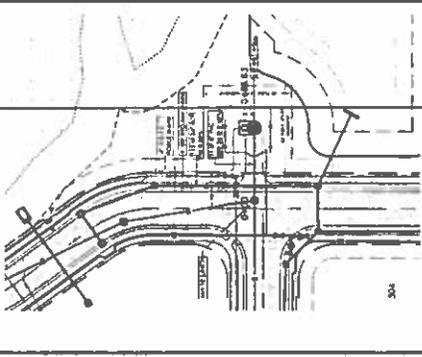


KEY MAP



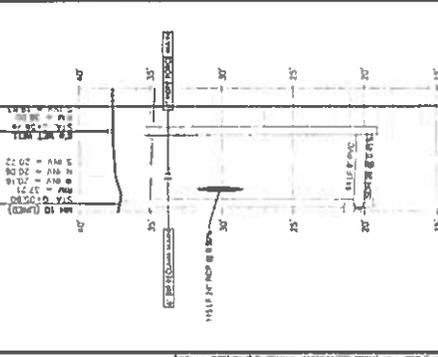
PROFILE VIEW - SAND PINE LANE - 138+00 - 145+85.89
 SCALE: H. 1"=40' V. 1"=4'

APPROVED
 J.M.
 J.M.
 J.M.

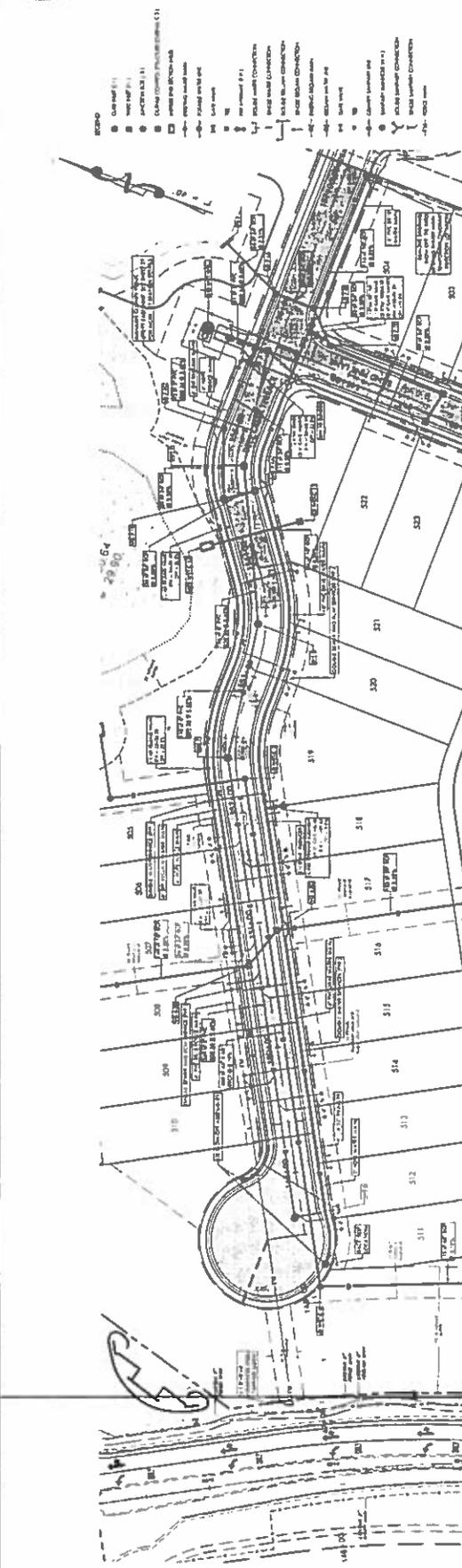


PLAN VIEW - LIFT STATION
 SCALE: 1"=40'

*SEE LIFT STATION PLAN AND DETAILS FOR MORE INFORMATION. SHEET 79



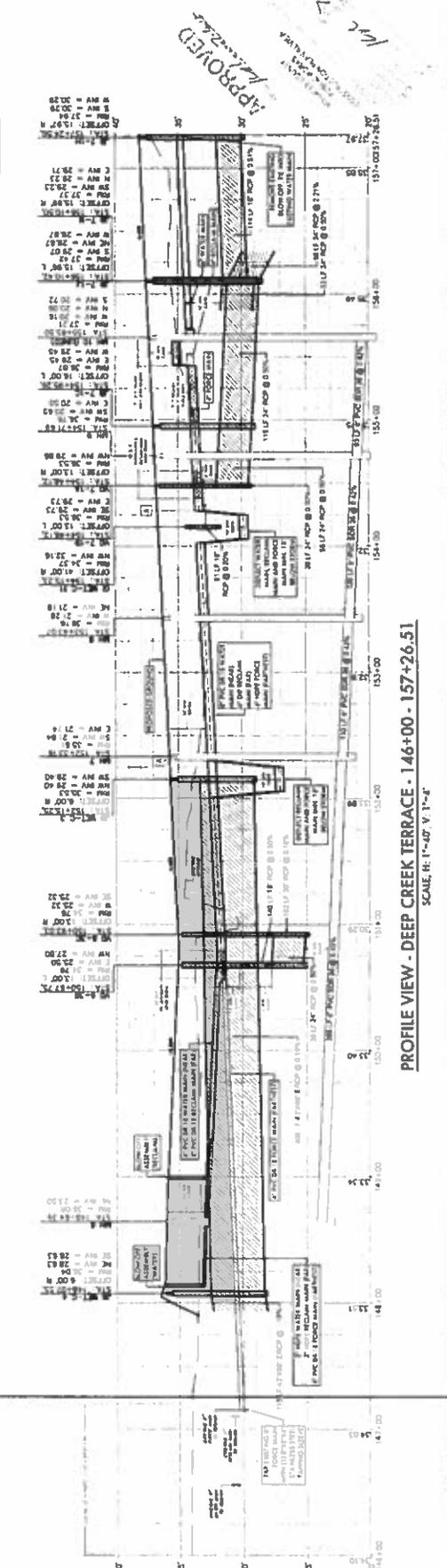
PROFILE VIEW - LIFT STATION
 SCALE: H. 1"=40' V. 1"=4'



PLAN VIEW - DEEP CREEK TERRACE - STA. 146+00 - 157+26.51
 SCALE: 1"=40'



KEY MAP



PROFILE VIEW - DEEP CREEK TERRACE - STA. 146+00 - 157+26.51
 SCALE: H: 1"=40' V: 1"=2'

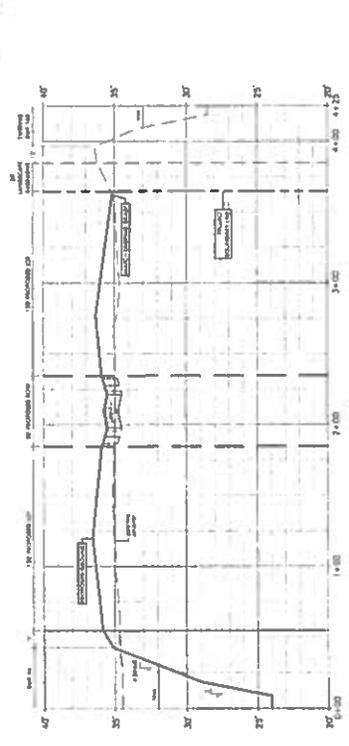
APPROVED
 J. WILSON
 10/15/11

PROJECT NO. 17-0000000000
 DATE: 08/14/2018
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 APPROVED BY: J. B. BROWN

CROSS SECTIONS
 FOR
SILVERLEAF PHASE VI
 LOCATED IN
 SECTION 01 TOWNSHIP 28 SOUTH RANGE 18 EAST
 HAVANTEE COUNTY, FLORIDA

REVISIONS
 NO. DESCRIPTION
 1. INITIAL DESIGN
 2. REVISION TO ADDRESS COUNTY COMMENTS
 3. REVISION TO ADDRESS COUNTY COMMENTS
 4. REVISION TO ADDRESS COUNTY COMMENTS
 5. REVISION TO ADDRESS COUNTY COMMENTS
 6. REVISION TO ADDRESS COUNTY COMMENTS
 7. REVISION TO ADDRESS COUNTY COMMENTS
 8. REVISION TO ADDRESS COUNTY COMMENTS
 9. REVISION TO ADDRESS COUNTY COMMENTS
 10. REVISION TO ADDRESS COUNTY COMMENTS

ZNS ENGINEERING
 LAND MANAGEMENT ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 11000 W. UNIVERSITY BLVD., SUITE 100
 TAMPA, FLORIDA 33613
 TEL: 813.288.1100
 FAX: 813.288.1101
 WWW.ZNSENGINEERING.COM

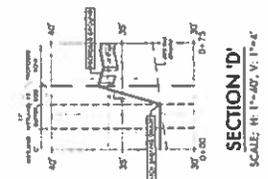


SECTION 'F'
 SCALE: H: 1"=40', V: 1"=4'

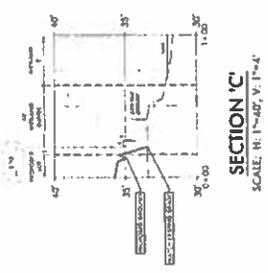


SECTION 'E'
 SCALE: H: 1"=40', V: 1"=4'

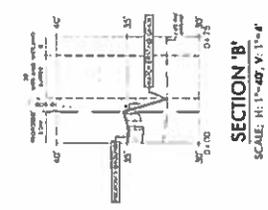
APPROVED
 J. B. BROWN
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 170000000000



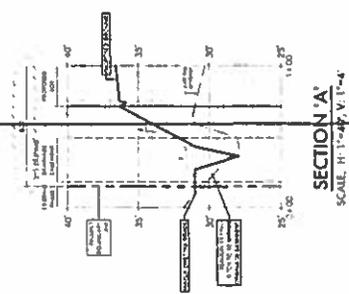
SECTION 'D'
 SCALE: H: 1"=40', V: 1"=4'



SECTION 'C'
 SCALE: H: 1"=40', V: 1"=4'



SECTION 'B'
 SCALE: H: 1"=40', V: 1"=4'



SECTION 'A'
 SCALE: H: 1"=40', V: 1"=4'

DATE	11/11/11
PROJECT	SILVERLEAF PHASE VI
CLIENT	FLORIAN DEVELOPMENT
DESIGNER	ZNS ENGINEERING
CHECKER	[Signature]
APPROVER	[Signature]

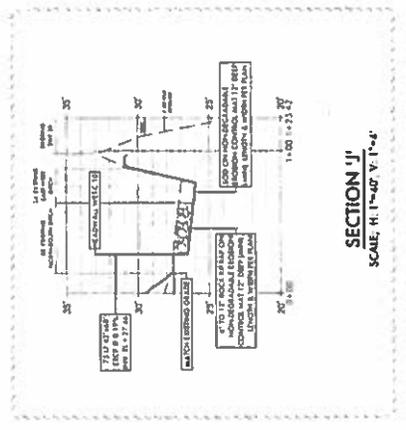
CROSS SECTIONS
SILVERLEAF PHASE VI
LOCATION
SECTION 01, TOWNSHIP 24 NORTH, RANGE 18 EAST
FLORIAN COUNTY, FLORIDA

NO.	1	REVISION
NO.	2	REVISION
NO.	3	REVISION
NO.	4	REVISION
NO.	5	REVISION
NO.	6	REVISION
NO.	7	REVISION
NO.	8	REVISION
NO.	9	REVISION
NO.	10	REVISION

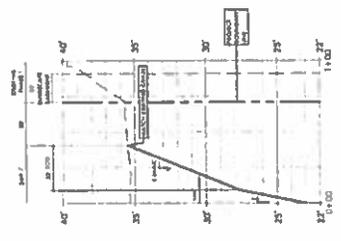
ZNS ENGINEERING
LAND PLANNING ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
10000 W. UNIVERSITY BLVD., SUITE 100
DADE COUNTY, FLORIDA 33150
TEL: 305.444.1111 FAX: 305.444.1112
WWW.ZNS-ENGINEERING.COM



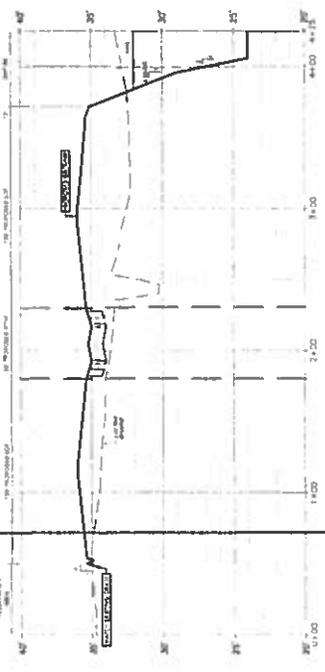
APPROVED
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DATE: 11/11/11



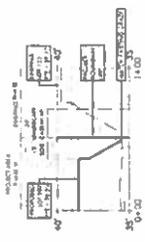
SECTION 'I'
SCALE: H: 1"=40' V: 1"=4'



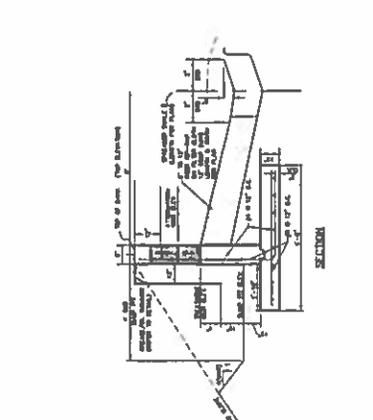
SECTION 'H'
SCALE: H: 1"=40' V: 1"=4'



SECTION 'I'
SCALE: H: 1"=40' V: 1"=4'



SECTION 'G'
SCALE: H: 1"=40' V: 1"=4'



WEIRBALL DATA CHART

NO.	TYPE	SIZE	QTY	UNIT	PRICE	TOTAL
1	WEIRBALL	12" DIA.	10	EA.	1.50	15.00
2	WEIRBALL	18" DIA.	5	EA.	2.50	12.50
3	WEIRBALL	24" DIA.	2	EA.	4.00	8.00
4	WEIRBALL	30" DIA.	1	EA.	6.00	6.00
5	WEIRBALL	36" DIA.	1	EA.	8.00	8.00
6	WEIRBALL	42" DIA.	1	EA.	10.00	10.00
7	WEIRBALL	48" DIA.	1	EA.	12.00	12.00
8	WEIRBALL	54" DIA.	1	EA.	14.00	14.00
9	WEIRBALL	60" DIA.	1	EA.	16.00	16.00
10	WEIRBALL	66" DIA.	1	EA.	18.00	18.00
11	WEIRBALL	72" DIA.	1	EA.	20.00	20.00
12	WEIRBALL	78" DIA.	1	EA.	22.00	22.00
13	WEIRBALL	84" DIA.	1	EA.	24.00	24.00
14	WEIRBALL	90" DIA.	1	EA.	26.00	26.00
15	WEIRBALL	96" DIA.	1	EA.	28.00	28.00
16	WEIRBALL	102" DIA.	1	EA.	30.00	30.00
17	WEIRBALL	108" DIA.	1	EA.	32.00	32.00
18	WEIRBALL	114" DIA.	1	EA.	34.00	34.00
19	WEIRBALL	120" DIA.	1	EA.	36.00	36.00
20	WEIRBALL	126" DIA.	1	EA.	38.00	38.00
21	WEIRBALL	132" DIA.	1	EA.	40.00	40.00
22	WEIRBALL	138" DIA.	1	EA.	42.00	42.00
23	WEIRBALL	144" DIA.	1	EA.	44.00	44.00
24	WEIRBALL	150" DIA.	1	EA.	46.00	46.00
25	WEIRBALL	156" DIA.	1	EA.	48.00	48.00
26	WEIRBALL	162" DIA.	1	EA.	50.00	50.00
27	WEIRBALL	168" DIA.	1	EA.	52.00	52.00
28	WEIRBALL	174" DIA.	1	EA.	54.00	54.00
29	WEIRBALL	180" DIA.	1	EA.	56.00	56.00
30	WEIRBALL	186" DIA.	1	EA.	58.00	58.00
31	WEIRBALL	192" DIA.	1	EA.	60.00	60.00
32	WEIRBALL	198" DIA.	1	EA.	62.00	62.00
33	WEIRBALL	204" DIA.	1	EA.	64.00	64.00
34	WEIRBALL	210" DIA.	1	EA.	66.00	66.00
35	WEIRBALL	216" DIA.	1	EA.	68.00	68.00
36	WEIRBALL	222" DIA.	1	EA.	70.00	70.00
37	WEIRBALL	228" DIA.	1	EA.	72.00	72.00
38	WEIRBALL	234" DIA.	1	EA.	74.00	74.00
39	WEIRBALL	240" DIA.	1	EA.	76.00	76.00
40	WEIRBALL	246" DIA.	1	EA.	78.00	78.00
41	WEIRBALL	252" DIA.	1	EA.	80.00	80.00
42	WEIRBALL	258" DIA.	1	EA.	82.00	82.00
43	WEIRBALL	264" DIA.	1	EA.	84.00	84.00
44	WEIRBALL	270" DIA.	1	EA.	86.00	86.00
45	WEIRBALL	276" DIA.	1	EA.	88.00	88.00
46	WEIRBALL	282" DIA.	1	EA.	90.00	90.00
47	WEIRBALL	288" DIA.	1	EA.	92.00	92.00
48	WEIRBALL	294" DIA.	1	EA.	94.00	94.00
49	WEIRBALL	300" DIA.	1	EA.	96.00	96.00
50	WEIRBALL	306" DIA.	1	EA.	98.00	98.00
51	WEIRBALL	312" DIA.	1	EA.	100.00	100.00
52	WEIRBALL	318" DIA.	1	EA.	102.00	102.00
53	WEIRBALL	324" DIA.	1	EA.	104.00	104.00
54	WEIRBALL	330" DIA.	1	EA.	106.00	106.00
55	WEIRBALL	336" DIA.	1	EA.	108.00	108.00
56	WEIRBALL	342" DIA.	1	EA.	110.00	110.00
57	WEIRBALL	348" DIA.	1	EA.	112.00	112.00
58	WEIRBALL	354" DIA.	1	EA.	114.00	114.00
59	WEIRBALL	360" DIA.	1	EA.	116.00	116.00
60	WEIRBALL	366" DIA.	1	EA.	118.00	118.00
61	WEIRBALL	372" DIA.	1	EA.	120.00	120.00
62	WEIRBALL	378" DIA.	1	EA.	122.00	122.00
63	WEIRBALL	384" DIA.	1	EA.	124.00	124.00
64	WEIRBALL	390" DIA.	1	EA.	126.00	126.00
65	WEIRBALL	396" DIA.	1	EA.	128.00	128.00
66	WEIRBALL	402" DIA.	1	EA.	130.00	130.00
67	WEIRBALL	408" DIA.	1	EA.	132.00	132.00
68	WEIRBALL	414" DIA.	1	EA.	134.00	134.00
69	WEIRBALL	420" DIA.	1	EA.	136.00	136.00
70	WEIRBALL	426" DIA.	1	EA.	138.00	138.00
71	WEIRBALL	432" DIA.	1	EA.	140.00	140.00
72	WEIRBALL	438" DIA.	1	EA.	142.00	142.00
73	WEIRBALL	444" DIA.	1	EA.	144.00	144.00
74	WEIRBALL	450" DIA.	1	EA.	146.00	146.00
75	WEIRBALL	456" DIA.	1	EA.	148.00	148.00
76	WEIRBALL	462" DIA.	1	EA.	150.00	150.00
77	WEIRBALL	468" DIA.	1	EA.	152.00	152.00
78	WEIRBALL	474" DIA.	1	EA.	154.00	154.00
79	WEIRBALL	480" DIA.	1	EA.	156.00	156.00
80	WEIRBALL	486" DIA.	1	EA.	158.00	158.00
81	WEIRBALL	492" DIA.	1	EA.	160.00	160.00
82	WEIRBALL	498" DIA.	1	EA.	162.00	162.00
83	WEIRBALL	504" DIA.	1	EA.	164.00	164.00
84	WEIRBALL	510" DIA.	1	EA.	166.00	166.00
85	WEIRBALL	516" DIA.	1	EA.	168.00	168.00
86	WEIRBALL	522" DIA.	1	EA.	170.00	170.00
87	WEIRBALL	528" DIA.	1	EA.	172.00	172.00
88	WEIRBALL	534" DIA.	1	EA.	174.00	174.00
89	WEIRBALL	540" DIA.	1	EA.	176.00	176.00
90	WEIRBALL	546" DIA.	1	EA.	178.00	178.00
91	WEIRBALL	552" DIA.	1	EA.	180.00	180.00
92	WEIRBALL	558" DIA.	1	EA.	182.00	182.00
93	WEIRBALL	564" DIA.	1	EA.	184.00	184.00
94	WEIRBALL	570" DIA.	1	EA.	186.00	186.00
95	WEIRBALL	576" DIA.	1	EA.	188.00	188.00
96	WEIRBALL	582" DIA.	1	EA.	190.00	190.00
97	WEIRBALL	588" DIA.	1	EA.	192.00	192.00
98	WEIRBALL	594" DIA.	1	EA.	194.00	194.00
99	WEIRBALL	600" DIA.	1	EA.	196.00	196.00
100	WEIRBALL	606" DIA.	1	EA.	198.00	198.00
101	WEIRBALL	612" DIA.	1	EA.	200.00	200.00
102	WEIRBALL	618" DIA.	1	EA.	202.00	202.00
103	WEIRBALL	624" DIA.	1	EA.	204.00	204.00
104	WEIRBALL	630" DIA.	1	EA.	206.00	206.00
105	WEIRBALL	636" DIA.	1	EA.	208.00	208.00
106	WEIRBALL	642" DIA.	1	EA.	210.00	210.00
107	WEIRBALL	648" DIA.	1	EA.	212.00	212.00
108	WEIRBALL	654" DIA.	1	EA.	214.00	214.00
109	WEIRBALL	660" DIA.	1	EA.	216.00	216.00
110	WEIRBALL	666" DIA.	1	EA.	218.00	218.00
111	WEIRBALL	672" DIA.	1	EA.	220.00	220.00
112	WEIRBALL	678" DIA.	1	EA.	222.00	222.00
113	WEIRBALL	684" DIA.	1	EA.	224.00	224.00
114	WEIRBALL	690" DIA.	1	EA.	226.00	226.00
115	WEIRBALL	696" DIA.	1	EA.	228.00	228.00
116	WEIRBALL	702" DIA.	1	EA.	230.00	230.00
117	WEIRBALL	708" DIA.	1	EA.	232.00	232.00
118	WEIRBALL	714" DIA.	1	EA.	234.00	234.00
119	WEIRBALL	720" DIA.	1	EA.	236.00	236.00
120	WEIRBALL	726" DIA.	1	EA.	238.00	238.00
121	WEIRBALL	732" DIA.	1	EA.	240.00	240.00
122	WEIRBALL	738" DIA.	1	EA.	242.00	242.00
123	WEIRBALL	744" DIA.	1	EA.	244.00	244.00
124	WEIRBALL	750" DIA.	1	EA.	246.00	246.00
125	WEIRBALL	756" DIA.	1	EA.	248.00	248.00
126	WEIRBALL	762" DIA.	1	EA.	250.00	250.00
127	WEIRBALL	768" DIA.	1	EA.	252.00	252.00
128	WEIRBALL	774" DIA.	1	EA.	254.00	254.00
129	WEIRBALL	780" DIA.	1	EA.	256.00	256.00
130	WEIRBALL	786" DIA.	1	EA.	258.00	258.00
131	WEIRBALL	792" DIA.	1	EA.	260.00	260.00
132	WEIRBALL	798" DIA.	1	EA.	262.00	262.00
133	WEIRBALL	804" DIA.	1	EA.	264.00	264.00
134	WEIRBALL	810" DIA.	1	EA.	266.00	266.00
135	WEIRBALL	816" DIA.	1	EA.	268.00	268.00
136	WEIRBALL	822" DIA.	1	EA.	270.00	270.00
137	WEIRBALL	828" DIA.	1	EA.	272.00	272.00
138	WEIRBALL	834" DIA.	1	EA.	274.00	274.00
139	WEIRBALL	840" DIA.	1	EA.	276.00	276.00
140	WEIRBALL	846" DIA.	1	EA.	278.00	278.00
141	WEIRBALL	852" DIA.	1	EA.	280.00	280.00
142	WEIRBALL	858" DIA.	1	EA.	282.00	282.00
143	WEIRBALL	864" DIA.	1	EA.	284.00	284.00
144	WEIRBALL	870" DIA.	1	EA.	286.00	286.00
145	WEIRBALL	876" DIA.	1	EA.	288.00	288.00
146	WEIRBALL	882" DIA.	1	EA.	290.00	290.00
147	WEIRBALL	888" DIA.	1	EA.	292.00	292.00
148	WEIRBALL	894" DIA.	1	EA.	294.00	294.00
149	WEIRBALL	900" DIA.	1	EA.	296.00	296.00
150	WEIRBALL	906" DIA.	1	EA.	298.00	298.00
151	WEIRBALL	912" DIA.	1	EA.	300.00	300.00
152	WEIRBALL	918" DIA.	1	EA.	302.00	302.00
153	WEIRBALL	924" DIA.	1	EA.	304.00	304.00
154	WEIRBALL	930" DIA.	1	EA.	306.00	306.00
155	WEIRBALL	936" DIA.	1	EA.	308.00	308.00
156	WEIRBALL	942" DIA.	1	EA.	310.00	310.00
157	WEIRBALL	948" DIA.	1	EA.	312.00	312.00
158	WEIRBALL	954" DIA.	1	EA.	314.00	314.00
159	WEIRBALL	960" DIA.	1	EA.	316.00	316.00
160	WEIRBALL	966" DIA.	1	EA.	318.00	318.00
161	WEIRBALL	972" DIA.	1	EA.	320.00	320.00
162	WEIRBALL	978" DIA.	1	EA.	322.00	322.00
163	WEIRBALL	984" DIA.	1	EA.	324.00	324.00
164	WEIRBALL	990" DIA.	1	EA.	326.00	326.00
165	WEIRBALL	996" DIA.	1	EA.		



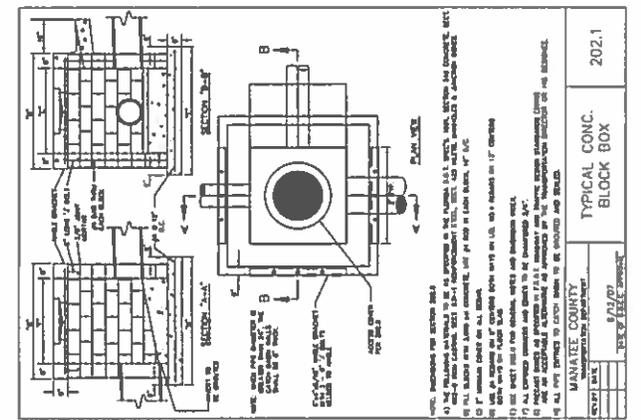
ZNS ENGINEERING

CADD DRAWING, FOUNDATION, ELEVATION, LAYOUT, ARCHITECTURAL
11000 Highway 19, Suite 100, Palm Bay, FL 32909
Tel: 321-325-1100, Fax: 321-325-1101
www.zns-engineering.com

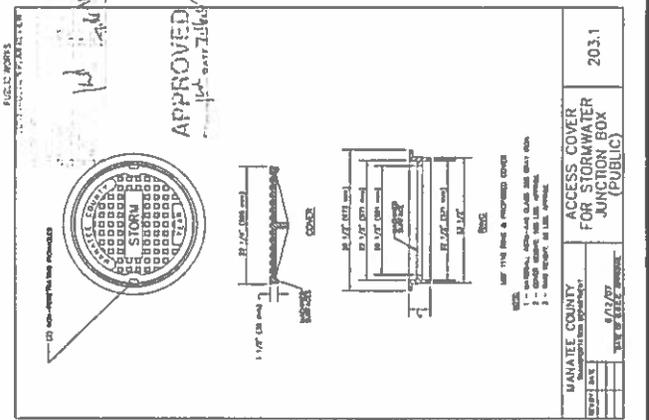
PROJECT: 11000 Highway 19, Suite 100, Palm Bay, FL 32909
DATE: 07/10/2018
DRAWN BY: J. S. Baker
CHECKED BY: J. S. Baker
SCALE: AS SHOWN

SILVERLEAF PHASE VI DRAINAGE DETAILS

SECTION 81, TYPICAL 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



TYPICAL CONC. BLOCK BOX 202.1



ACCESS COVER FOR STORMWATER JUNCTION BOX (PUBLIC) 203.1

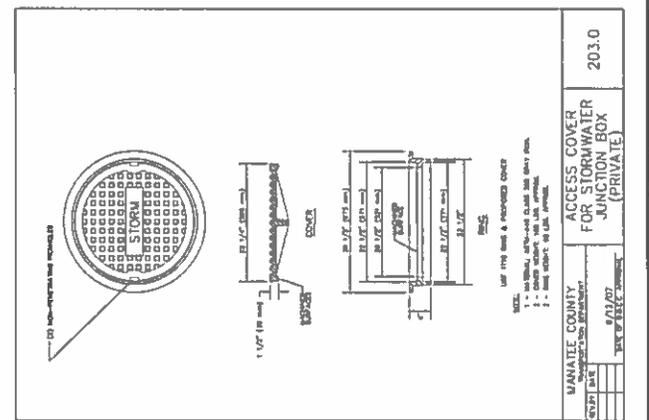
GENERAL NOTES

1. ALL DIMENSIONS UNLESS NOTED TO THE CONTRARY.
2. CONCRETE SHALL BE CLASS "C" AS PER SECTION 05 10 00.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.

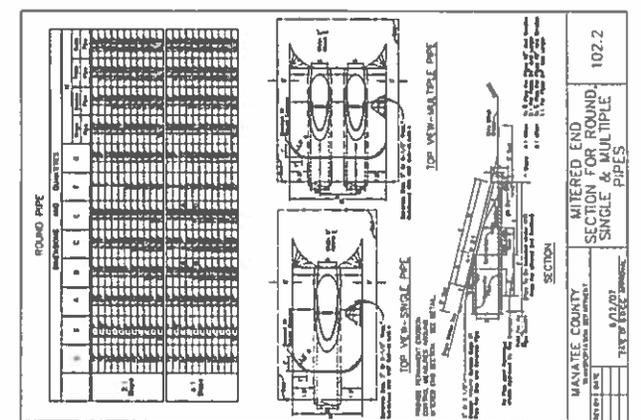
PIPE SIZE	TYPE	1"	2"	3"	4"	5"	6"	7"	8"	9"	10"	12"
12" x 18"	RCP	28"	4"	5"	6"	7"	8"	9"	10"	11"	12"	14"
18" x 24"	RCP	42"	6"	8"	10"	12"	14"	16"	18"	20"	22"	26"
24" x 30"	RCP	56"	8"	12"	16"	20"	24"	28"	32"	36"	40"	48"
30" x 36"	RCP	70"	10"	16"	22"	28"	34"	40"	46"	52"	58"	70"
36" x 42"	RCP	84"	12"	20"	28"	36"	44"	52"	60"	68"	76"	90"
42" x 48"	RCP	98"	14"	24"	34"	44"	54"	64"	74"	84"	94"	110"
48" x 54"	RCP	112"	16"	28"	40"	52"	64"	76"	88"	100"	112"	130"
54" x 60"	RCP	126"	18"	32"	46"	60"	74"	88"	102"	116"	130"	150"
60" x 66"	RCP	140"	20"	36"	52"	68"	84"	100"	116"	132"	148"	170"

MANATEE COUNTY
07/10/2018
TYPE OF SPEC. AMENDMENT:

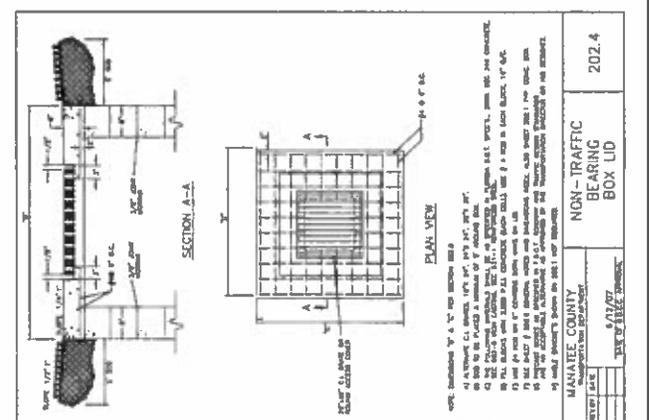
DRAINAGE CONTROL SHEET 202.0



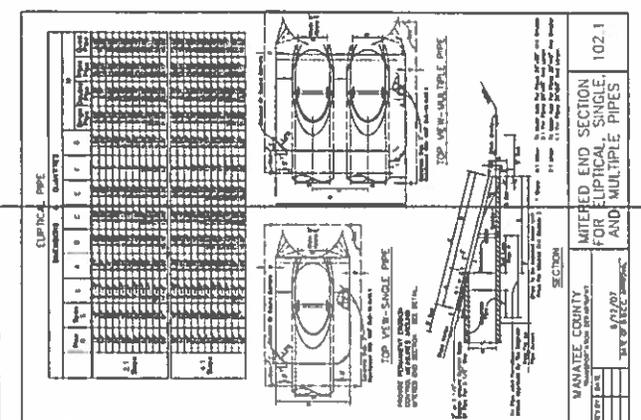
ACCESS COVER FOR STORMWATER JUNCTION BOX (PRIVATE) 203.0



MITERED END SECTION FOR ROUND, SINGLE & MULTIPLE PIPES 102.2



NON-TRAFFIC BEARING BOX LID 202.4



MITERED END SECTION FOR ELLIPTICAL, SINGLE AND MULTIPLE PIPES 102.1



Southwest Florida Water Management District

2379 Broad Street, Brooksville, Florida 34604-6899
(352) 796-7211 or 1-800-423-1476 (FL only)
SUNCOM 628-4150 TDD only 1-800-231-6103 (FL only)
On the Internet at: WaterMatters.org

An Equal
Opportunity
Employer

Bartow Service Office
170 Century Boulevard
Bartow, Florida 33830-7700
(863) 534-1448 or
1-800-492-7862 (FL only)

Sarasota Service Office
6750 Fruitville Road
Sarasota, Florida 34240-9711
(941) 377-3722 or
1-800-320-3503 (FL only)

Tampa Service Office
7601 Highway 301 North
Tampa, Florida 33637-6759
(813) 985-7481 or
1-800-836-0797 (FL only)

June 29, 2018

PGCI IV, LLC
Attn: James Schier
5800 Lakewood Ranch Boulevard
Bradenton, FL 34240

**Subject: Notice of Intended Agency Action - Approval
ERP Individual Construction**
Project Name: Silverleaf Phase 6
App ID/Permit No: 754859 / 43040375.031
County: Manatee
Sec/Twp/Rge: S06/T34S/R19E, S01/T34S/R18E

Dear Permittee(s):

The Southwest Florida Water Management District (District) has completed its review of the application for Environmental Resource Permit. Based upon a review of the information you have submitted, the District hereby gives notice of its intended approval of the application.

The File of Record associated with this application can be viewed at <http://www18.swfwmd.state.fl.us/erp/erp/search/ERPSearch.aspx> and is also available for inspection Monday through Friday, except for District holidays, from 8:00 a.m. through 5:00 p.m. at the District's Tampa Service Office, 7601 U.S. Highway 301 North, Tampa, Florida 33637.

If you have any questions or concerns regarding the application or any other information, please contact the Environmental Resource Permit Bureau in the Tampa Service Office.

Sincerely,

David Kramer, P.E.
Manager
Environmental Resource Permit Bureau
Regulation Division

cc: Ramon Mendieta
Jeb Mulock, P.E., ZNS Engineering, L.C.



Southwest Florida Water Management District

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Project Name: Silverleaf Phase 6
App ID/Permit No: 754859 / 43040375.031
County: Manatee
Sec/Twp/Rge: S06/T34S/R19E, S01/T34S/R18E

Dear Permittee(s):

The Southwest Florida Water Management District (District) is in receipt of your application for the Environmental Resource Permit. Based upon a review of the information you submitted, the application is approved.

Please refer to the attached Notice of Rights to determine any legal rights you may have concerning the District's agency action on the permit application described in this letter.

If approved construction plans are part of the permit, construction must be in accordance with these plans. These drawings are available for viewing or downloading through the District's Application and Permit Search Tools located at www.WaterMatters.org/permits.

The District's action in this matter only becomes closed to future legal challenges from members of the public if such persons have been properly notified of the District's action and no person objects to the District's action within the prescribed period of time following the notification. The District does not publish notices of agency action. If you wish to limit the time within which a person who does not receive actual written notice from the District may request an administrative hearing regarding this action, you are strongly encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Publishing notice of agency action will close the window for filing a petition for hearing. Legal requirements and instructions for publishing notices of agency action, as well as a noticing form that can be used, are available from the District's website at www.WaterMatters.org/permits/noticing. If you publish notice of agency action, a copy of the affidavit of publication provided by the newspaper should be sent to the District's Tampa Service Office for retention in this permit's File of Record.

**SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE
INDIVIDUAL CONSTRUCTION
PERMIT NO. 43040375.031**

EXPIRATION DATE: June 29, 2023

PERMIT ISSUE DATE: June 29, 2018

This permit is issued under the provisions of Chapter 373, Florida Statutes, (F.S.), and the Rules contained in Chapter 62-330, Florida Administrative Code, (F.A.C.). The permit authorizes the Permittee to proceed with the construction of a surface water management system in accordance with the information outlined herein and shown by the application, approved drawings, plans, specifications, and other documents, attached hereto and kept on file at the Southwest Florida Water Management District (District). Unless otherwise stated by permit specific condition, permit issuance constitutes certification of compliance with state water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341. All construction, operation and maintenance of the surface water management system authorized by this permit shall occur in compliance with Florida Statutes and Administrative Code and the conditions of this permit.

PROJECT NAME: Silverleaf Phase 6
GRANTED TO: PGCI IV, LLC
Attn: James Schier
5800 Lakewood Ranch Boulevard
Bradenton, FL 34240

OTHER PERMITTEES: N/A

ABSTRACT: This permit authorizes the construction of a stormwater management system serving a 22.53-acre residential project. Water quality treatment and peak discharge attenuation will be provided by two (2) proposed wet detention ponds. The project is located on the south side of US Highway 301, approximately 3.78 miles east of Interstate 75, in Manatee County, Florida. Information regarding the stormwater management system, 100-year floodplain, wetlands and/or surface waters is stated below and on the permitted construction drawings for the project.

OP. & MAIN. ENTITY: Silverleaf Community Development District
OTHER OP. & MAIN. ENTITY: N/A
COUNTY: Manatee
SEC/TWP/RGE: S06/T34S/R19E, S01/T34S/R18E
**TOTAL ACRES OWNED
OR UNDER CONTROL:** 22.53
PROJECT SIZE: 22.53 Acres
LAND USE: Residential
DATE APPLICATION FILED: October 25, 2017
AMENDED DATE: N/A

I. Water Quantity/Quality

POND No.	Area Acres @ Top of Bank	Treatment Type
6	2.36	MAN-MADE WET DETENTION
7	0.45	MAN-MADE WET DETENTION
	Total: 2.81	

Water Quality/Quantity Comments:

The project consists of a 61-lot single family residential subdivision known as Silverleaf Phase 6. Water quality treatment and attenuation for the project will be provided by proposed wet detention Ponds 6 and 7.

The project discharges to a waterbody (Manatee River Above Braden River/1848B) which contributes to Tampa Bay; pursuant to the Tampa Bay Reasonable Assurance Plan (RAP), the stormwater management system design implements mitigation measures that will cause net improvement of the water quality in the receiving waters for nutrients. Water quality certification is therefore waived as a condition of this permit.

Elevations referenced on the construction plans and in the drainage modeling are based on the 1929 National Geodetic Vertical Datum (NGVD); conversion to 1988 North American Vertical Datum (NAVD) is less 0.955 feet.

A mixing zone is not required.
A variance is not required.

II. 100-Year Floodplain

Encroachment (Acre-Feet of fill)	Compensation (Acre-Feet of excavation)	Compensation Type	Encroachment Result* (feet)
3.10	0.86	Storage Modeling	N/A

Floodplain Comments:

Portions of the project area are located within FEMA Flood Zone A. Site specific drainage modeling was used to determine pre-development 100-year flood limits and to demonstrate no adverse flooding impacts in the post-development condition. Proposed scrape down area FPC#1 will provide 0.86 acre-feet of equivalent excavation floodplain compensation volume.

*Depth of change in flood stage (level) over existing receiving water stage resulting from floodplain encroachment caused by a project that claims Minimal Impact type of compensation.

III. Environmental Considerations

Wetland/Other Surface Water Information

Wetland/Other Surface Water Name	Total Acres	Not Impacted Acres	Permanent Impacts		Temporary Impacts	
			Acres	Functional Loss*	Acres	Functional Loss*
Wetland C	1.07	1.07	0.00	0.00	0.00	0.00
Wetland D	0.09	0.09	0.00	0.00	0.00	0.00
OSW C	0.32	0.00	0.32	0.00	0.00	0.00
OSW D	0.30	0.30	0.00	0.00	0.00	0.00
Total:	1.78	1.46	0.32	0.00	0.00	0.00

* For impacts that do not require mitigation, their functional loss is not included.

Wetland/Other Surface Water Comments:

There are 1.07 acres of wetland forested mixed (FLUCCS 630), 0.09 acre of freshwater marsh (FLUCCS 641), and 0.62 acre of other surface water ditches (FLUCCS 510) located within the project area for this permit. There will be 0.32 acre of permanent filling impacts to other surface water ditches associated with the construction activities authorized in this permit.

Mitigation Information

Mitigation Comments:

Wetland mitigation is not required for the 0.32 acre of permanent filling impacts to other surface water ditches (OSW C) pursuant to Subsection 10.2.2.2 of the Environmental Resource Applicant's Handbook Volume 1 (A.H.V.I). Under this Subsection, wetland mitigation is not required for impacts to upland dug ditches that do not provide significant habitat for threatened or endangered species and were not constructed to divert natural stream flow.

Specific Conditions

1. If the ownership of the project area covered by the subject permit is divided, with someone other than the Permittee becoming the owner of part of the project area, this permit may be terminated, unless the terms of the permit are modified by the District or the permit is transferred pursuant to Rule 40D-1.6105, F.A.C. In such situations, each land owner shall obtain a permit (which may be a modification of this permit) for the land owned by that person. This condition shall not apply to the division and sale of lots or units in residential subdivisions or condominiums.
2. The Permittee shall retain the design professional registered or licensed in Florida, to conduct on-site observations of construction and assist with the as-built certification requirements of this project. The Permittee shall inform the District in writing of the name, address and phone number of the design professional so employed. This information shall be submitted prior to construction.
3. Wetland buffers shall remain in an undisturbed condition except for approved drainage facility construction/maintenance. No owner of property within the subdivision may perform any work, construction, maintenance, clearing, filling or any other type of activities within the wetlands, wetland buffers, and drainage easements described in the approved permit and recorded plat of the subdivision, unless prior approval is received from the Southwest Florida Water Management District.
4. The following boundaries, as shown on the approved construction drawings, shall be clearly delineated on the site prior to initial clearing or grading activities:
 - a. wetland and surface water areas
 - b. wetland buffers
 - c. limits of approved wetland impacts

The delineation shall endure throughout the construction period and be readily discernible to construction and District personnel.

5. The following language shall be included as part of the deed restrictions for each lot:

"No owner of property within the subdivision may construct or maintain any building, residence, or structure, or undertake or perform any activity in the wetlands, buffer areas, and drainage easements described in the approved permit and recorded plat of the subdivision, unless prior approval is received from the Southwest Florida Water Management District."
6. Rights-of-way and easement locations necessary to construct, operate and maintain all facilities, which constitute the permitted stormwater management system, and the locations and limits of all wetlands, wetland buffers, upland buffers for water quality treatment, 100-year floodplain areas and floodplain compensation areas, shall be shown on the final plat recorded in the County Public Records. Documentation of this plat recording shall be submitted to the District with the As-Built Certification and Request for Conversion to Operational Phase Form, and prior to beneficial occupancy or use of the site.
7. The following language shall be included as part of the deed restrictions for each lot:

"Each property owner within the subdivision at the time of construction of a building, residence, or

structure shall comply with the construction plans for the stormwater management system approved and on file with the Southwest Florida Water Management District."

8. The removal of littoral shelf vegetation (including cattails) from wet detention ponds is prohibited unless otherwise approved by the District. Removal includes dredging, the application of herbicide, cutting, and the introduction of grass carp. Any questions regarding authorized activities within the wet detention ponds shall be addressed to the District's Engineering Manager at the Tampa Service Office.
9. All lots abutting wet detention ponds shall have the following language (or similar language as approved in writing by the District Service Office that services this permit), as part of the deed restrictions:

"The lot owners shall not remove native vegetation (including cattails) that becomes established within the wet detention ponds abutting their property. Removal includes dredging, the application of herbicide, cutting, and the introduction of grass carp. Lot owners shall address any questions regarding authorized activities within the wet detention ponds to SWFWMD."

10. Certification of compliance with state water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341 is waived.
11. If limestone bedrock is encountered during construction of the stormwater management system, the District must be notified and construction in the affected area shall cease.
12. The Permittee shall notify the District of any sinkhole development in the stormwater management system within 48 hours of discovery and must submit a detailed sinkhole evaluation and repair plan for approval by the District within 30 days of discovery.
13. The Permitted Plan Set for this project includes the set received by the District on June 29, 2018.
14. If prehistoric or historic artifacts such as pottery or ceramics, stone or shell tools or metal implements, or any other physical remains that could be associated with Native American cultures or early colonial or American settlement are encountered at any time within the project area, the permittee shall cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The permittee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section at (850) 245-6333, as well as the District. Project activities in the immediate vicinity shall not resume without authorization from the District after coordination with the Division of Historical Resources. In the event that unmarked human remains are encountered during permitted activities, all work that may disturb the unmarked human remains shall stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.
15. The operation and maintenance entity shall provide for the inspection of the permitted project after conversion of the permit to the operation and maintenance phase. For systems utilizing retention or wet detention, the inspections shall be performed five (5) years after operation is authorized and every five (5) years thereafter.

The operation and maintenance entity must maintain a record of each inspection, including the date of inspection, the name and contact information of the inspector, whether the system was functioning as designed and permitted, and make such record available upon request of the District.

Within 30 days of any failure of a stormwater management system or deviation from the permit, an inspection report shall be submitted using Form 62-330.311(1), "Operation and Maintenance Inspection Certification" describing the remedial actions taken to resolve the failure or deviation.

16. District staff must be notified in advance of any proposed construction dewatering. If the dewatering activity is likely to result in offsite discharge or sediment transport into wetlands or surface waters, a written dewatering plan must either have been submitted and approved with the permit application or submitted to the District as a permit prior to the dewatering event as a permit modification. A water use permit may be required prior to any use exceeding the thresholds in Chapter 40D-2, F.A.C.
17. Off-site discharges during construction and development shall be made only through the facilities authorized by this permit. Water discharged from the project shall be through structures having a mechanism suitable for regulating upstream stages. Stages may be subject to operating schedules satisfactory to the District.
18. The permittee shall complete construction of all aspects of the stormwater management system, including wetland compensation (grading, mulching, planting), water quality treatment features, and discharge control facilities prior to beneficial occupancy or use of the development being served by this system.
19. The following shall be properly abandoned and/or removed in accordance with the applicable regulations:
 - a. Any existing wells in the path of construction shall be properly plugged and abandoned by a licensed well contractor.
 - b. Any existing septic tanks on site shall be abandoned at the beginning of construction.
 - c. Any existing fuel storage tanks and fuel pumps shall be removed at the beginning of construction.
20. All stormwater management systems shall be operated to conserve water in order to maintain environmental quality and resource protection; to increase the efficiency of transport, application and use; to decrease waste; to minimize unnatural runoff from the property and to minimize dewatering of offsite property.
21. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the occupation of the site or operation of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.
22. This permit is valid only for the specific processes, operations and designs indicated on the approved drawings or exhibits submitted in support of the permit application. Any substantial deviation from the approved drawings, exhibits, specifications or permit conditions, including construction within the total land area but outside the approved project area(s), may constitute grounds for revocation or enforcement action by the District, unless a modification has been applied for and approved. Examples of substantial deviations include excavation of ponds, ditches or sump areas deeper than shown on the approved plans.

23. A "Recorded notice of Environmental Resource Permit," Form No. 62-330.090(1), shall be recorded in the public records of the County(s) where the project is located.

GENERAL CONDITIONS

1. The general conditions attached hereto as Exhibit "A" are hereby incorporated into this permit by reference and the Permittee shall comply with them.

David Kramer, P.E.

Authorized Signature

EXHIBIT A

GENERAL CONDITIONS:

- 1 The following general conditions are binding on all individual permits issued under this chapter, except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate, project-specific conditions.
 - a. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C., or the permit may be revoked and the permittee may be subject to enforcement action.
 - b. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
 - c. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007)*, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, which are both incorporated by reference in subparagraph 62-330.050(8)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
 - d. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice,"[effective date], incorporated by reference herein (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5),F.A.C. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
 - e. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
 - f. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 1. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex - "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 2. For all other activities - "As-Built Certification and Request for Conversion to Operation Phase" [Form 62-330.310(1)].
 3. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
 - g. If the final operation and maintenance entity is a third party:

1. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 2. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310 (2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
- h. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
- i. This permit does not:
1. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 2. Convey to the permittee or create in the permittee any interest in real property;
 3. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 4. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
- j. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
- k. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
- l. The permittee shall notify the Agency in writing:
1. Immediately if any previously submitted information is discovered to be inaccurate; and
 2. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
- m. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
- n. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving

subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S. (2012).

- o. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
 - p. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
 - q. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
 - r. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
2. In addition to those general conditions in subsection (1) above, the Agency shall impose any additional project-specific special conditions necessary to assure the permitted activities will not be harmful to the water resources, as set forth in Rules 62-330.301 and 62-330.302, F.A.C., Volumes I and II, as applicable, and the rules incorporated by reference in this chapter.

SOUTHWEST FLORIDA
WATER MANAGEMENT DISTRICT

**NOTICE OF
AUTHORIZATION
TO COMMENCE CONSTRUCTION**

Silverleaf Phase 6

PROJECT NAME

Residential

PROJECT TYPE

Manatee

COUNTY

S06/T34S/R19E, S01/T34S/R18E

SEC(S)/TWP(S)/RGE(S)

PGCI IV, LLC

PERMITTEE

See permit for additional permittees

APPLICATION ID/PERMIT NO: 754859 / 43040375.031

DATE ISSUED: June 29, 2018



David Kramer, P.E.

Issuing Authority

**THIS NOTICE SHOULD BE CONSPICUOUSLY
DISPLAYED AT THE SITE OF THE WORK**

Notice of Rights

ADMINISTRATIVE HEARING

1. You or any person whose substantial interests are or may be affected by the District's intended or proposed action may request an administrative hearing on that action by filing a written petition in accordance with Sections 120.569 and 120.57, Florida Statutes (F.S.), Uniform Rules of Procedure Chapter 28-106, Florida Administrative Code (F.A.C.) and District Rule 40D-1.1010, F.A.C. Unless otherwise provided by law, a petition for administrative hearing must be filed with (received by) the District within 21 days of receipt of written notice of agency action. "Written notice" means either actual written notice, or newspaper publication of notice, that the District has taken or intends to take agency action. "Receipt of written notice" is deemed to be the fifth day after the date on which actual notice is deposited in the United States mail, if notice is mailed to you, or the date that actual notice is issued, if sent to you by electronic mail or delivered to you, or the date that notice is published in a newspaper, for those persons to whom the District does not provide actual notice.
2. Pursuant to Subsection 373.427(2)(c), F.S., for notices of intended or proposed agency action on a consolidated application for an environmental resource permit and use of state-owned submerged lands concurrently reviewed by the District, a petition for administrative hearing must be filed with (received by) the District within 14 days of receipt of written notice.
3. Pursuant to Rule 62-532.430, F.A.C., for notices of intent to deny a well construction permit, a petition for administrative hearing must be filed with (received by) the District within 30 days of receipt of written notice of intent to deny.
4. Any person who receives written notice of an agency decision and who fails to file a written request for a hearing within 21 days of receipt or other period as required by law waives the right to request a hearing on such matters.
5. Mediation pursuant to Section 120.573, F.S., to settle an administrative dispute regarding District intended or proposed action is not available prior to the filing of a petition for hearing.
6. A request or petition for administrative hearing must comply with the requirements set forth in Chapter 28-106, F.A.C. A request or petition for a hearing must: (1) explain how the substantial interests of each person requesting the hearing will be affected by the District's intended action or proposed action, (2) state all material facts disputed by the person requesting the hearing or state that there are no material facts in dispute, and (3) otherwise comply with Rules 28-106.201 and 28-106.301, F.A.C. Chapter 28-106, F.A.C. can be viewed at www.flrules.org or at the District's website at www.WaterMatters.org/permits/rules.
7. A petition for administrative hearing is deemed filed upon receipt of the complete petition by the District Agency Clerk at the District's Tampa Service Office during normal business hours, which are 8:00 a.m. to 5:00 p.m., Monday through Friday, excluding District holidays. Filings with the District Agency Clerk may be made by mail, hand-delivery or facsimile transfer (fax). The District does not accept petitions for administrative hearing by electronic mail. Mailed filings must be addressed to, and hand-delivered filings must be delivered to, the Agency Clerk, Southwest Florida Water Management District, 7601 Highway 301 North, Tampa, FL 33637-6759. Faxed filings must be transmitted to the District Agency Clerk at (813) 367-9776. Any petition not received during normal business hours shall be filed as of 8:00 a.m. on the next business day. The District's acceptance of faxed petitions for filing is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation, available for viewing at www.WaterMatters.org/about.

JUDICIAL REVIEW

1. Pursuant to Sections 120.60(3) and 120.68, F.S., a party who is adversely affected by District action may seek judicial review of the District's action. Judicial review shall be sought in the Fifth District Court of Appeal or in the appellate district where a party resides or as otherwise provided by law.
2. All proceedings shall be instituted by filing an original notice of appeal with the District Agency Clerk within 30 days after the rendition of the order being appealed, and a copy of the notice of appeal, accompanied by any filing fees prescribed by law, with the clerk of the court, in accordance with Rules 9.110 and 9.190 of the Florida Rules of Appellate Procedure (Fla. R. App. P.). Pursuant to Fla. R. App. P. 9.020(h), an order is rendered when a signed written order is filed with the clerk of the lower tribunal.