

MEMORANDUM



To: Robin Meyer, AICP, Development Services Division
Manager/Zoning Official

From: Bobbi Roy, Planning Coordinator

Date: **May 13, 2015**

Subject: Agenda Update for the May 14, 2015 Planning Commission

THIS MEMO AND THE CHANGES INDICATED BELOW ARE REFLECTED IN THE ELECTRONIC AGENDA (E-AGENDA)

Minutes for Approval – April 9, 2015

Item 2. - PDR-15-01(Z)(P) – Soho Mendoza, LLC/Willow Hammock – DTS20150012 – MEPS387 – Stephanie Moreland – Revised Stipulations and revision to Preliminary Site Plan to eliminate Billboard Signs – See attached

Item 3. – Z-14-05 – 24/7 Development Holdings, LLC/SR 70 and 66th Rezone – MEPS360 – DTS20140473 – Rossina Leider – Traffic Impact Statement – see attached

cc: Planning Commissioners – 4
Tom Gerstenberger, Stormwater Engineering Division Manager
Joel Christian, Environmental Review Manager
Sarah Schenk, Assistant County Attorney
William Clague, Deputy County Attorney
Bobby Jones, Development Review Specialist
Rossina Leider, Planner
Stephanie Moreland, Principal Planner
Bobbi Roy, Planning Coordinator
Danielle Walker
Board Records
Counter Copy

Building and Development Services Department
Public Hearings
1112 Manatee Avenue West, 4th Floor
Phone number: (941) 748-4501 ext. 6878

Update Memo

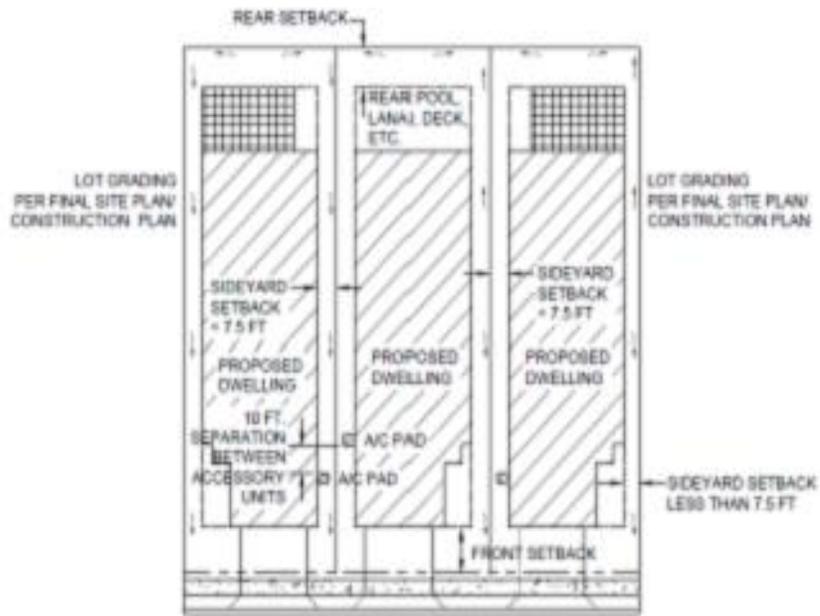
Case Name: Soho Mendoza, LLC/ Willow Hammock

Case Number: PDR-15-01(Z)(P)

Case Planner: Stephanie Moreland

Date: 5/14/15 – Planning Commission

1. *All fill within the 100 Year Floodplain shall be compensated by the creation of an equal or greater storage volume above seasonal high water table. The 100 year compensation shall be compensated in sole use compensation areas, not dual use facilities (i.e., stormwater attenuation and floodplain compensation), except as provided below. The applicant must demonstrate either:*
 - *The available storage volume above the 25 Year Design High Water Level of any proposed compensation requirement*
 - or-
 - *Provide a stormwater routing model that utilizes reverse flow from Government Hammock into the on-site lakes during a 100 year, 24 hour storm event the volume of stormwater that backfeeds into the on-site lakes will be credited as floodplain compensation volume.*
 - or-
 - *Provide a stormwater routing model which utilizes a watershed study to demonstrate, in post-development condition, that no adverse impacts are created within the watershed with respect to flood stages, volume, or flow rates associated with the 100-year storm event.*
2. A Drainage Easement shall be dedicated to Manatee County and be shown on the Final Site Plan and Final Plat along Government Hammock Drain and associated lateral drainage systems within the project boundaries. In addition, a 20 ft wide Drainage-Maintenance Access Easement shall be provided from the top of bank of Government Hammock *and associated lateral drainage systems*. Manatee County is only responsible for maintaining the free flow of drainage through these systems.
3. Ten (10) feet separation shall be provided between accessory structures (i.e. Heat Pumps, A/C Handlers, pool pumps, etc.) along the side yards of properties with a side yard setback of less than 7.5 feet.



NOTE: A/C PAD INCLUDE POOL PUMP, IRRIGATION PUMP, OR ANY OTHER ACCESSORY STRUCTURE LOCATED ALONG SIDE OF DWELLING

INDEX

- ☒ COVER SHEET 1
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- ☒ PRELIMINARY SECTIONS AND DETAILS 16
- ☒ PRELIMINARY PLANTING PLAN 15-01 THRU 15-06
- ☒ PRELIMINARY PLANTING NOTES & DETAILS 15-07

- ☒ SHEETS INCLUDED

REZONE TO PLANNED DEVELOPMENT / PRELIMINARY SITE PLAN

TO SERVE:

WILLOW HAMMOCK

LOCATED IN:

**SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA**

EXISTING ZONING:

A-1

PROPOSED ZONING:

PDR

FUTURE LAND USE:

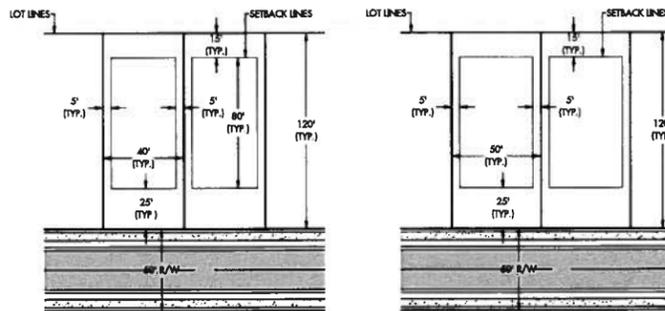
RES-3 (113.20 AC) 299 LOTS - RES-6 (34.73 AC) 0 LOTS

DESCRIPTION:

DESCRIPTION: PARCEL A (O.R.B. 1793, PAGE 8249)
 BEGINNING AT THE S.W. CORNER OF N.W. 1/4 OF SECTION 4, TOWNSHIP 34 SOUTH, RANGE 18 EAST; THENCE N 00°27'24" W, A DISTANCE OF 1329.77 FEET TO THE S.W. CORNER OF THE N.W. 1/4 OF THE N.W. 1/4 OF SAID SECTION 4; THENCE CONTINUING N 00°27'24" W, ALONG THE WEST LINE OF SAID N.W. 1/4 OF N.W. 1/4, A DISTANCE OF 110.49 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE N 63°25'30" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 1239.47 FEET TO THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD #93 (I-75); THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY LINE THE FOLLOWING SEVEN COURSES: S 13°57'17" E, A DISTANCE OF 520.12 FEET; THENCE S 10°08'59" E, A DISTANCE OF 928.93 FEET TO THE P.C. OF A NON-TANGENTIAL CURVE TO THE RIGHT WHOSE RADIUS POINT LIES S 85°37'49" W, A DISTANCE OF 5555.98 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 488.23 FEET THROUGH A CENTRAL ANGLE OF 05°22'07"; THENCE S 05°41'03" W, A DISTANCE OF 1302.39 FEET; THENCE N 89°41'21" W, A DISTANCE OF 528.21 FEET; THENCE S 85°02'06" W, A DISTANCE OF 652.78 FEET; THENCE S 00°18'31" W, A DISTANCE OF 20.19 FEET TO THE NORTHERLY MAINTAINED RIGHT OF WAY LINE OF MENDOZA ROAD; THENCE N 89°43'23" W, ALONG SAID MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 199.51 FEET TO THE WEST LINE OF SAID SECTION 4; THENCE N 00°26'28" W, A DISTANCE OF 1285.51 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN SECTION 4, TOWNSHIP 34 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

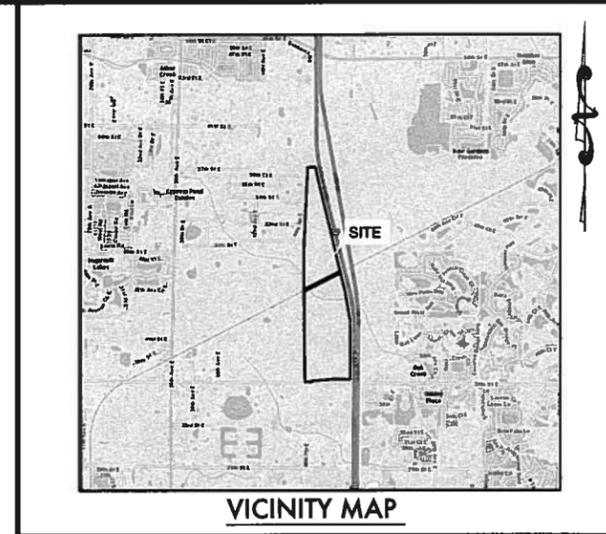
DESCRIPTION: PARCEL B (O.R.B. 1244, PAGE 3147)
 BEGINNING AT THE S.W. CORNER OF SECTION 33, TOWNSHIP 33 SOUTH, RANGE 18 EAST; THENCE N 02°39'13" E, A DISTANCE OF 2541.40 FEET TO THE N.W. CORNER OF THE S.W. 1/4 OF SAID SECTION 33; THENCE N 89°18'11" E, ALONG THE NORTH LINE OF THE S.W. 1/4 OF SAID SECTION 33, A DISTANCE OF 234.26 FEET TO THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD 93 (I-75) ALSO BEING THE INTERSECTION WITH A CURVE TO THE LEFT WHOSE RADIUS POINT LIES N 79°55'13" E, A DISTANCE OF 5903.58 FEET; THENCE SOUTHERLY ALONG THE ARC OF A CURVE TO THE LEFT ALSO BEING SAID RIGHT OF WAY LINE, A DISTANCE OF 399.28 FEET THROUGH A CENTRAL ANGLE OF 03°52'30"; THENCE S 13°57'17" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 1275.82 FEET; THENCE S 13°11'28" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 841.85 FEET; THENCE S 13°11'28" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 257.90 FEET; THENCE S 13°57'17" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 370.80 FEET TO THE INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE S 63°25'30" W, ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 1228.15 FEET TO THE WEST LINE OF SECTION 4, TOWNSHIP 34 SOUTH, RANGE 18 EAST; THENCE N 00°27'24" W, ALONG SAID WEST LINE, A DISTANCE OF 1183.59 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN SECTION 33, TOWNSHIP 33 SOUTH, RANGE 18 EAST AND SECTION 4, TOWNSHIP 34 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

SUBJECT TO PERTINENT EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD.



TYPICAL 40' LOT LAYOUT
N.T.S.

TYPICAL 50' LOT LAYOUT
N.T.S.



VICINITY MAP

SITE DATA:

TOTAL PROJECT AREA:	147.93± AC	OPEN SPACE	REQUIRED (30%):	44.38± AC
NORTH PARCEL:	56.00± AC	PROVIDED:	88.03± AC (59.5%)	
SOUTH PARCEL:	91.93± AC	REC AREA:	0.72 AC	
TOTAL LOTS:	299 UNITS	OPEN WATER BODIES	4.99 AC	
40' X 120' LOTS	176 UNITS	WETLAND	12.40 AC	
50' X 120' LOTS	123 UNITS	WETLAND BUFFERS	5.86 AC	
		NATIVE HABITAT		
		PRESERVATION	31.83 AC	
		OPEN SPACE (BUFFERS, EASEMENTS & OPEN SPACE)	38.92 AC	

NET AREA:	128.95± AC
[TOTAL AREA - WETLANDS - REC. AREA (0.72 AC) - CONSERVATION EASEMENTS]	
GROSS DENSITY:	2.02 UNITS PER ACRE
[TOTAL LOTS/TOTAL AREA]	
NET DENSITY:	2.31 UNITS PER ACRE
[TOTAL LOTS/NET AREA]	
TYPICAL LOT SIZE:	40' X 120' = 4800 SF 50' X 120' = 6000 SF

SETBACKS:

	MINIMUM PROPOSED
FRONT:	25'
REAR:	15'
SIDE:	5'/5'
WETLAND BUFFER:	15'
SETBACK:	

BUFFERS:

	MINIMUM REQUIRED	PROVIDED
ROADWAY (MENDOZA RD):	20'	20'
ROADWAY (I-75):	20'	100'
ROADWAY (FUTURE 49TH AVE. E):	20'	20'
NORTH OF FPL EASEMENT:	0'	20'
SOUTH OF FPL EASEMENT:	0'	20'
SOUTH OF SEABOARD COASTLINE RAILROAD ROW:	0'	20'
WETLAND:	30'	30'

MANATEE COUNTY BUILDING & DEVELOPMENT SERVICES SIGNATURE BLOCK

PROJECT NUMBER: PDR-15-01(2)(P) PROJECT NAME: WILLOW HAMMOCK
 APPROVAL TYPE: PRELIMINARY SITE PLAN DTS NUMBER: _____

PROJECT PLANNER	_____	DATE	_____
PROJECT ENGINEER	_____	DATE	_____
CONCURRENCY	_____	DATE	_____
ENVIRONMENTAL PLANNING	_____	DATE	_____
ENVIRONMENTAL HEALTH	_____	DATE	_____
FIRE DISTRICT	_____	DATE	_____

Attention: The combination of this signed plan and accompanying letter constitutes the complete approval document. Both documents should be provided to interested parties and submitted with any building permit application. There may be other documents, including a CLOS that affects this project approval.

Res'd by OWNER/AGENT _____ DATE _____

ZNS ENGINEERING
 ENGINEERS | PLANNERS | SURVEYORS
 CA 002704
 LANDSCAPE ARCHITECTS
 201 5th AVENUE DRIVE EAST BRADENTON, FL 34208
 844.472.0240 FAX 941.748.8000

PREPARED FOR: SOHO MENDOZA, LLC
 C/O JAMES BREARLEY
 33 SOUTH GULFSTREAM AVE. #804A
 SARASOTA, FL 34236

AUTHORIZED AGENT/PREPARER:
 ZNS ENGINEERING
 201 5th AVENUE DRIVE EAST
 BRADENTON, FL 34208
 (941) 748-8080

PROJECT DATA:
 WILLOW HAMMOCK
 43860

REVISIONS
 1 _____
 2 _____
 3 _____
 4 _____
 5 _____
 6 _____

SHEET 01



DESIGNED: JIM HERRIDGE
 DRAWN: KAM
 DATE: 4/13/15
 JOB NO.: 43860
 SCALE: 1"=400'
 SHEET: 02

AERIAL
 FOR:
WILLOW HAMMOCK
 LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

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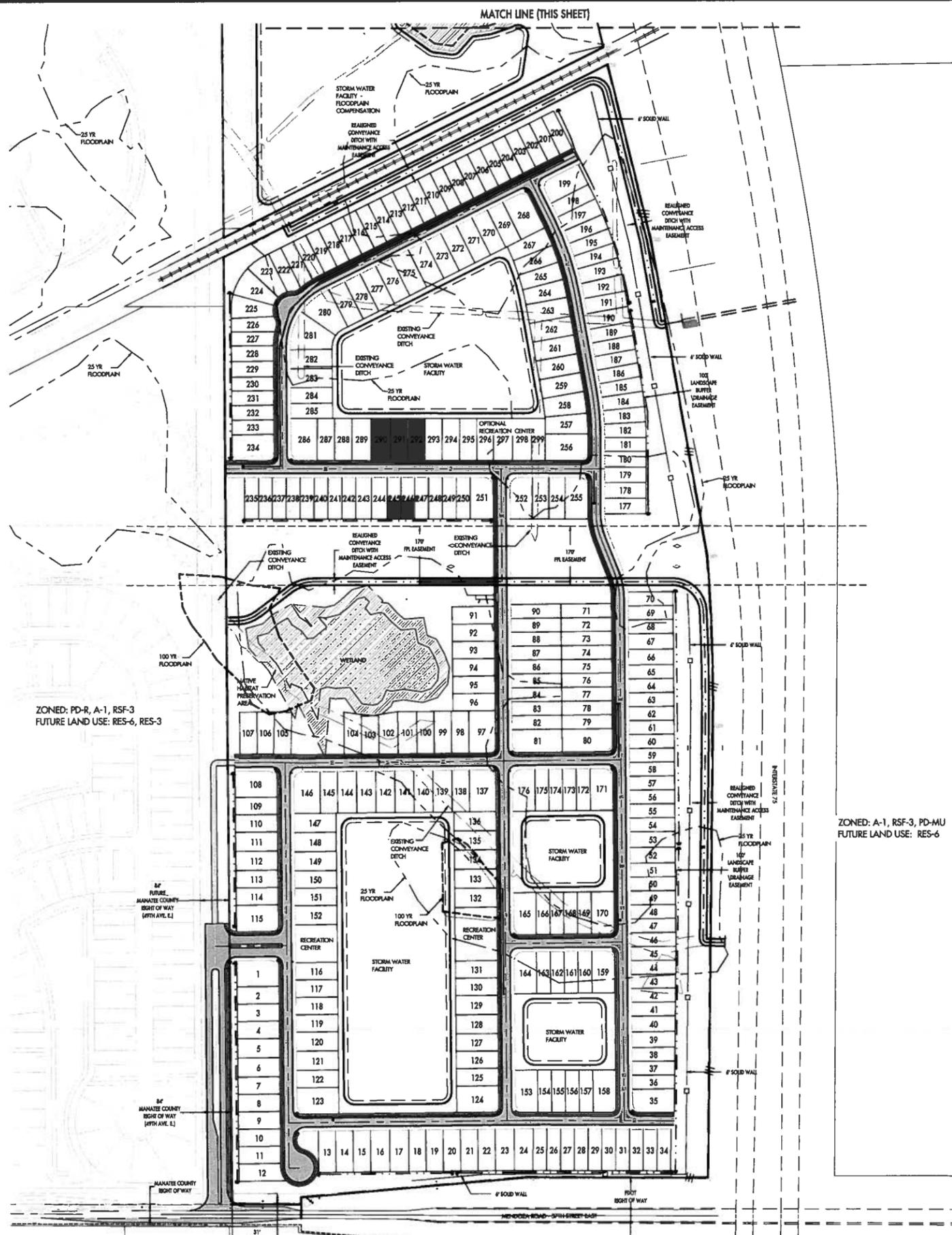
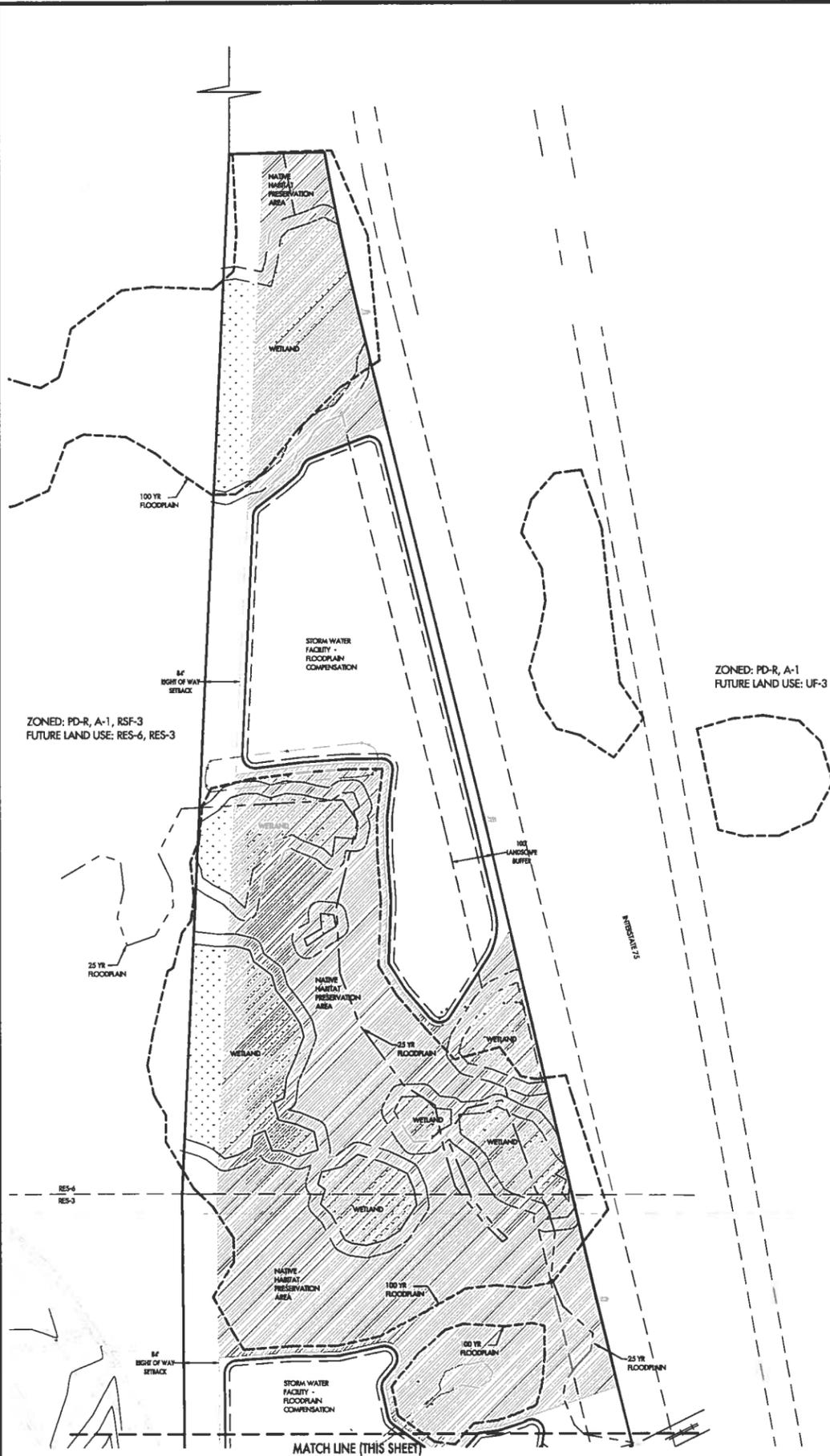
NO.	REVISIONS	DATE
1	UPDATED PLAN PER ME. COMMENTS	3/27/2015
2		
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7		



ZNS ENGINEERING
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 LANDSCAPE ARCHITECTS
 201 84 AVENUE DRIVE EAST, MANATEE, FL 34888
 TEL: 888.248.2626 FAX: 888.248.2626
 WWW.ZNSENGINEERING.COM

MATTHEW J. KRUGT
 PROFESSIONAL ENGINEER REG. 2722
 SURVEYOR

Tue, 12 May 2015 - 11:38am X:\Acad\WILLOW HAMMOCK (SCH0) (438660)\PL\WH-05.dwg



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LANDSCAPE ARCHITECTS

MANATEE COUNTY, FLORIDA
201 S. AVENUE ONE EAST, MANATEE, FL 34461
TEL: 888.288.2888 | FAX: 888.288.2888

DESIGNED: JAMES...
DRAWN: STEVE...
DATE: 5/12/15
JOB NO.: 1508
SCALE: 1/8" = 1'-0"
SHEET: 03

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	5/12/15	JM	ISSUED FOR PERMITS
2			
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6			
7			

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OVERALL - PRELIMINARY SITE PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 S & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

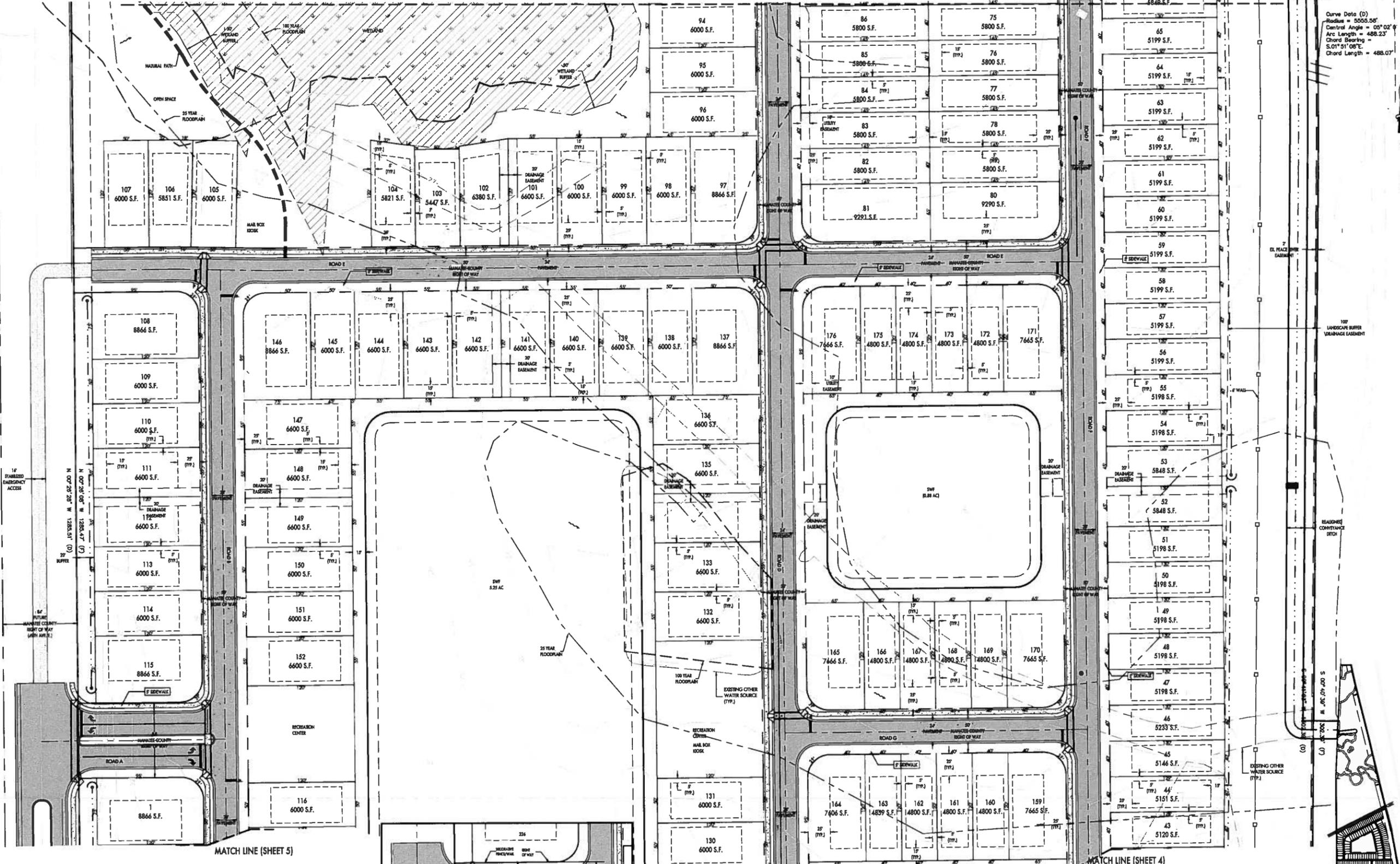
Tue, 12 May 2015 - 11:40am X:\Acad\WILLOW HAMMOCK (5040) \PL\WH-PS.dwg

MATCH LINE (SHEET 6)

MATCH LINE (SHEET 6)

50 25 0 50 100
GRAPHIC SCALE IN FEET

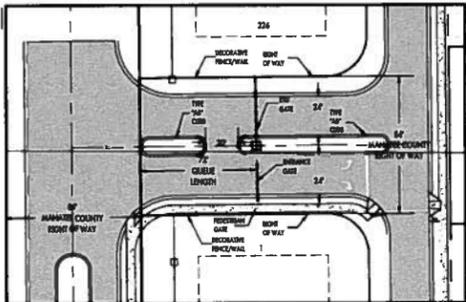
Curve Data (D)
Radius = 5005.58'
Central Angle = 05° 02'
Arc Length = 488.23'
Chord Bearing = S.01° 51' 08" E
Chord Length = 488.07'



MATCH LINE (SHEET 5)

MATCH LINE (SHEET 5)

MATCH LINE (SHEET 4)



OPTIONAL GATED ENTRANCE

NOTE
DRAINAGE EASEMENT SHOWN ON THE PRELIMINARY SITE PLAN ARE CONCEPTUAL ONLY. EASEMENT WIDTH WILL BE DETERMINED AT PSP/CONSTRUCTION PLAN SUBMITTAL COMPLIANT WITH STORMWATER MANAGEMENT DESIGN MANUAL AND NO LESS 30 FEET WIDE.

LEGEND

PAVEMENT	---
BUILDING SETBACK	---
SIDEWALK	---
WETLAND BUFFER	---
GREENBELT BUFFER	---
EASEMENT	---
SWALE	---
TOP OF BANK	---

KEY MAP

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ENGINEERS | PLANNERS | SURVEYORS
LANDSCAPE ARCHITECTS



REVISIONS

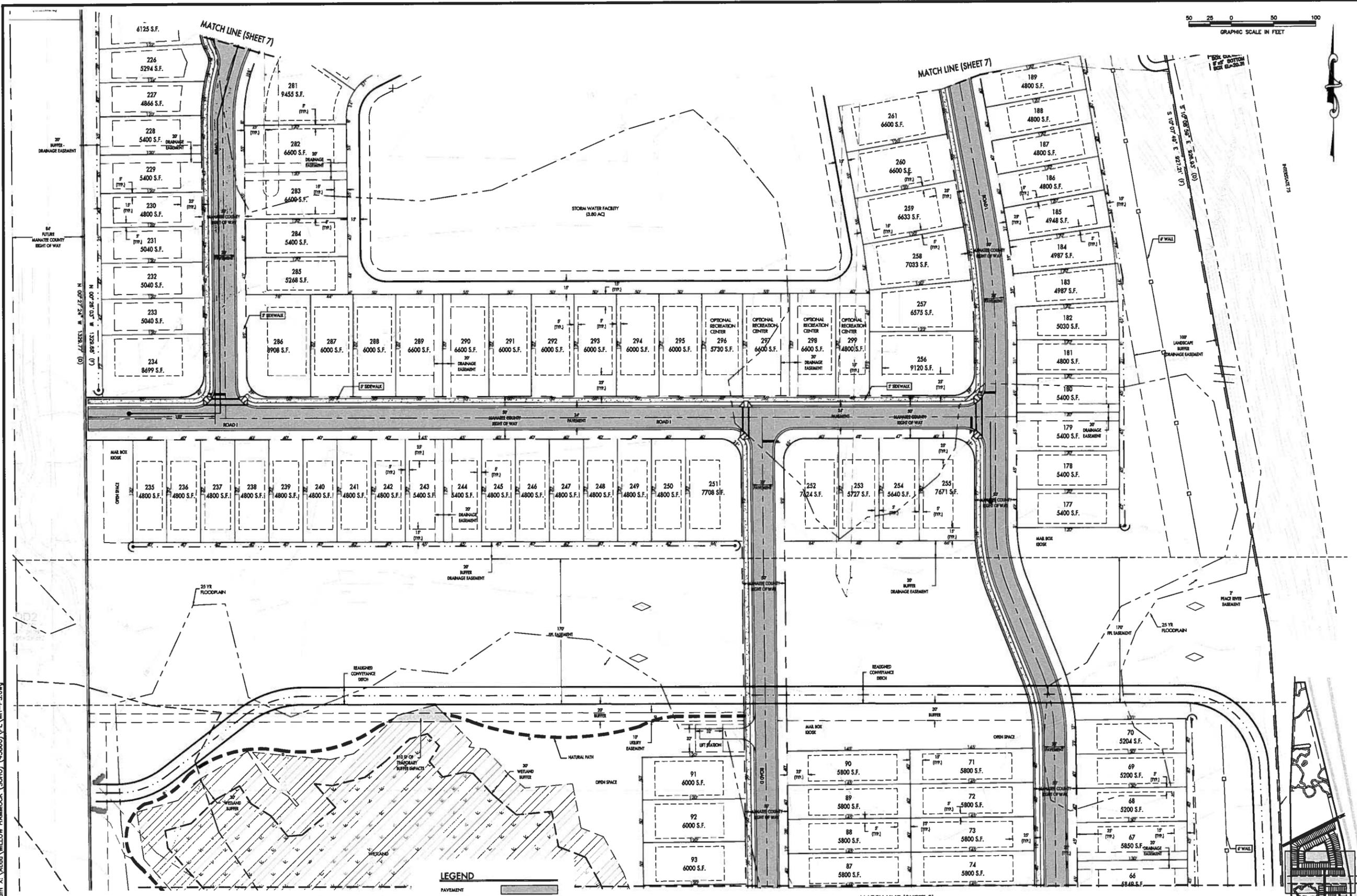
NO.	DATE	DESCRIPTION
1	3/27/15	1. LOCATED PLAIN PLOT MAP CORRECTIONS
2		2. CORRECTED ALLOCATION OF THE DOCUMENT
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5		5. CORRECTED THE AREA WITHIN CORNER OF THE
6		6. CORRECTED THE AREA WITHIN CORNER OF THE
7		7. CORRECTED THE AREA WITHIN CORNER OF THE

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PRELIMINARY SITE PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 S & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

DESIGNED: JIMBERG
DRAWN: JIMBERG
DATE: 5/27/15
JOB NO.: 43850
SCALE: 1"=50'
SHEET: 5

Tue, 12 May 2015 11:43:30 AM X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\PL\WH-PS.dwg



GRAPHIC SCALE IN FEET
0 50 100

MATCH LINE (SHEET 7)

MATCH LINE (SHEET 7)

(C) 1/2" = 1' SEE PLAN SHEET 100-N
(L) 1/8" = 1' SEE PLAN SHEET 100-N

MAR BOX BOOK
OPEN SPACE

MAR BOX BOOK

MATCH LINE (SHEET 5)

MATCH LINE (SHEET 5)

LEGEND

PAVEMENT	
BUILDING SETBACK	
SIDEWALK	
WETLAND BUFFER	
GREENHART BUFFER	
EASEMENT	
DWALE	
TOP OF BANK	

NOTE
DRAINAGE EASEMENT SHOWN ON THE PRELIMINARY SITE PLAN ARE CONCEPTUAL ONLY. EASEMENT WIDTH WILL BE DETERMINED AT PSD/CONSTRUCTION PLAN SUBMITTAL COMPLIANT WITH STORMWATER MANAGEMENT DESIGN MANUAL AND NO LESS 20 FEET WIDE.



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LANDSCAPE ARCHITECTS

201 S. AVENUE 2000 WEST, SUITE 1000, TAMPA, FL 33618
TEL: 813.281.1111 FAX: 813.281.1111

PRELIMINARY SITE PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN: SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

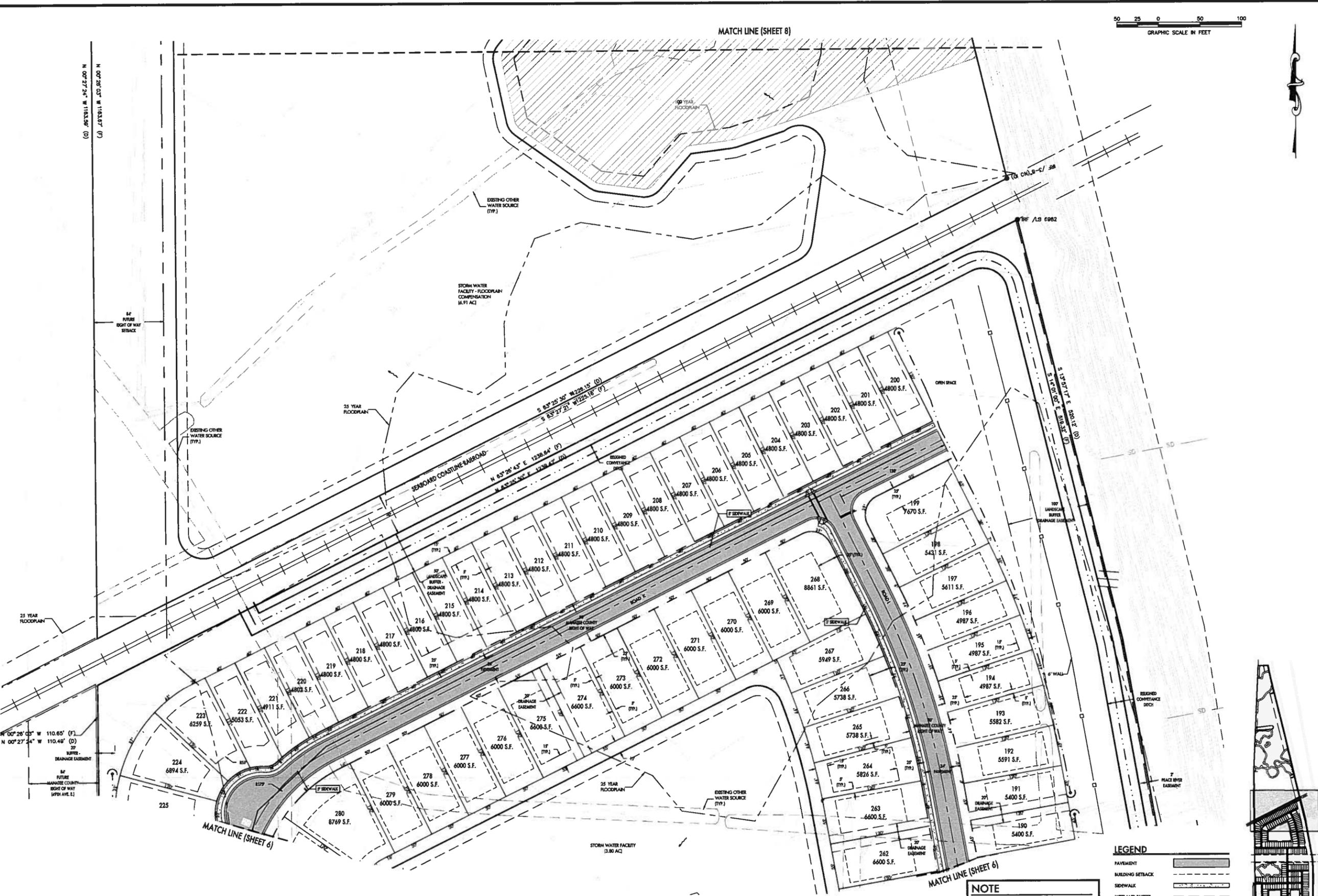
DESIGNED: JMB/MS
DRAWN: BMM
DATE: 5/12/15
JOB NO: 43860
SCALE: 1"=50'
SHEET: 4

REVISIONS

NO.	DATE	DESCRIPTION
1	3/27/15	ISSUED FOR PERMITS
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APPROVED: JMB/MS
DATE: 5/12/15

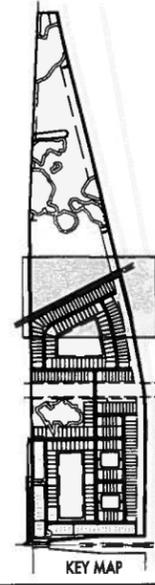
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NOTE
DRAINAGE EASEMENT SHOWN ON THE PRELIMINARY SITE PLAN ARE CONCEPTUAL ONLY. EASEMENT WIDTH WILL BE DETERMINED AT PSP/CONSTRUCTION PLAN SUBMITTAL COMPLIANT WITH STORMWATER MANAGEMENT DESIGN MANUAL AND NO LESS 20 FEET WIDE.

LEGEND

PAVEMENT	[Solid grey fill]
BUILDING SETBACK	[Dashed line]
SIDWALK	[Dotted line]
WETLAND BUFFER	[Long dashed line]
GREENBELT BUFFER	[Short dashed line]
EASEMENT	[Thin solid line]
SWALE	[Wavy line]
TOP OF BANK	[Dashed line with hatching]



DESIGNED: JAMES
DRAWN: [blank]
DATE: 5/12/15
JOB NO.: 43860
SCALE: 1"=40'

PRELIMINARY SITE PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN: 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

SHEET: 02

REVISIONS

1	UPDATED PLAN PER MDC COMMENTS
2	
3	
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DATE: 5/12/2015

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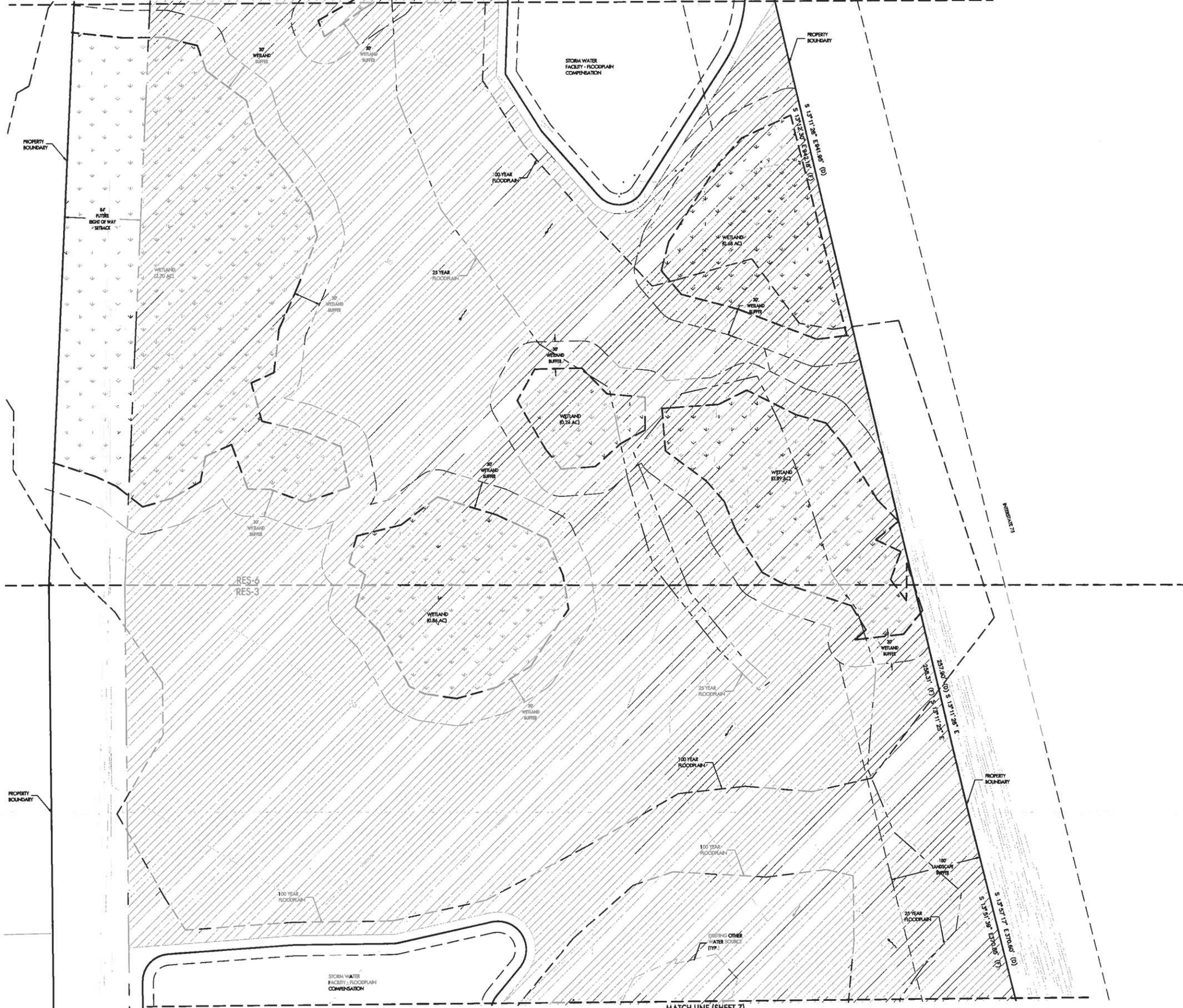
REVISIONS

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MATTHEW J. BRANT
PROFESSIONAL ENGINEER #89272

Tue, 12 May 2015 11:45am x:\Acad\WILLOW HAMMOCK (SOHO) (43860)\P\WF-PS.dwg

MATCH LINE (SHEET 9)

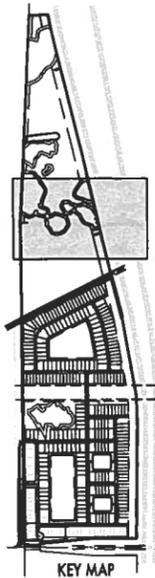


LEGEND

PAVEMENT	
BUILDING SETBACK	
SIDEWALK	
WETLAND BUFFER	
GREENBELT BUFFER	
EASEMENT	
SWALE	
TOP OF BANK	

NOTE

DRAINAGE EASEMENT SHOWN ON THE PRELIMINARY SITE PLAN ARE CONCEPTUAL ONLY. EASEMENT WIDTH WILL BE DETERMINED AT PSP/CONSTRUCTION PLAN SUBMITTAL COMPLIANT WITH STORMWATER MANAGEMENT DESIGN MANUAL AND NO LESS 20 FEET WIDE.



MATTHEW J. KRIST
PROFESSIONAL ENGINEER (PE) 12772

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LANDSCAPE ARCHITECTS



NO.	DATE	REVISIONS
1	10/20/11	ISSUED FOR PERMITS
2	11/20/11	REVISED PER COMMENTS
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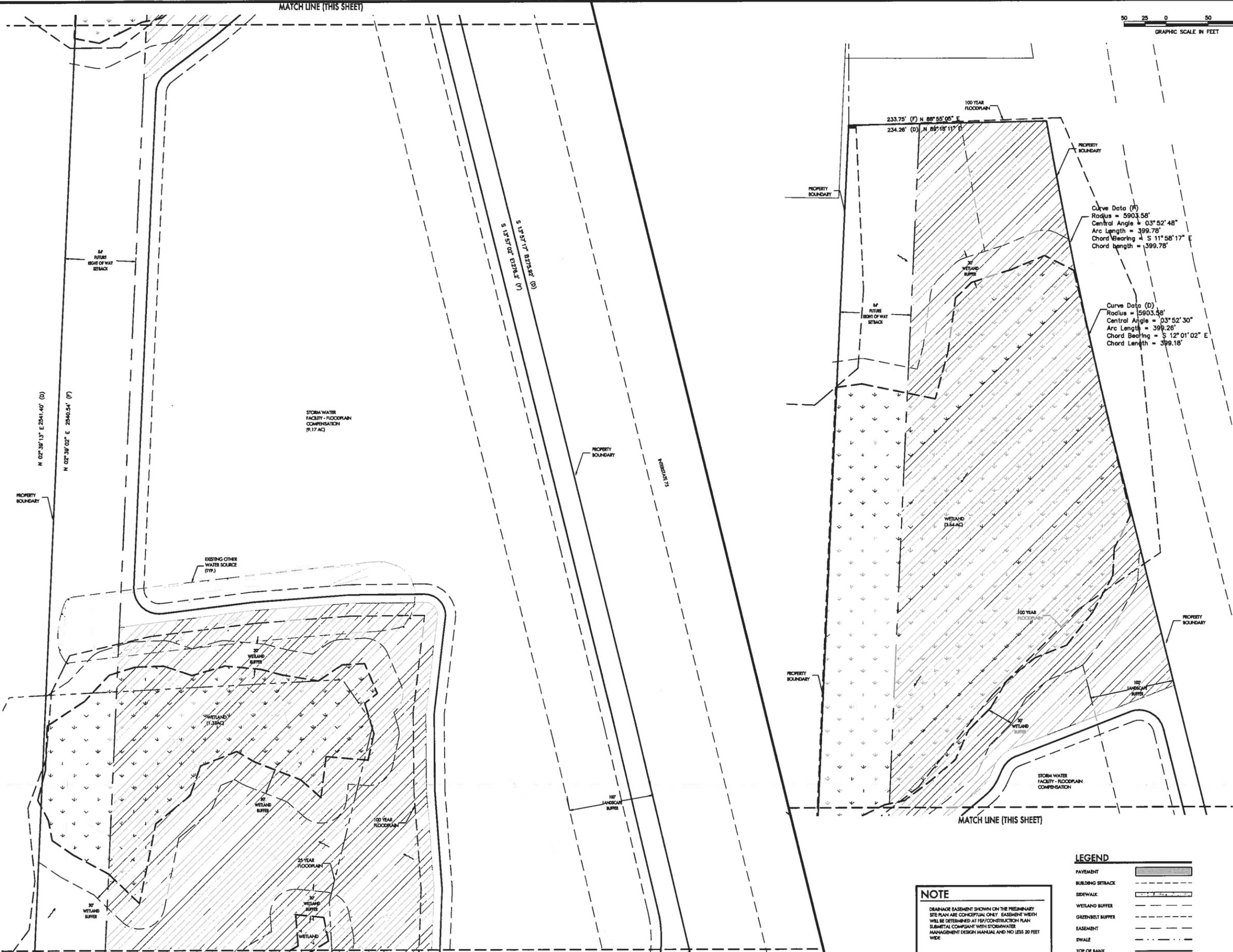
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PRELIMINARY SITE PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN: SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

DESIGNED	JAMBERE
DRAWN	RAM
DATE	8/27/15
JOB NO.	43860
SCALE	1"=50'
SHEET	08

Tue, 12 May 2015 - 11:47am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\PL\WH-PS.dwg

MATCH LINE (THIS SHEET)



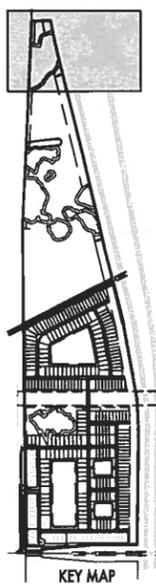
Curve Data (A)
 Radius = 5903.58'
 Central Angle = 03° 52' 48"
 Arc Length = 399.78'
 Chord Bearing = S 11° 58' 17" E
 Chord Length = 399.78'

Curve Data (D)
 Radius = 5903.48'
 Central Angle = 03° 52' 30"
 Arc Length = 399.26'
 Chord Bearing = S 12° 01' 02" E
 Chord Length = 399.18'

NOTE
 DRAINAGE EASEMENT SHOWN ON THE PRELIMINARY SITE PLAN ARE CONCEPTUAL ONLY. EASEMENT WIDTH WILL BE DETERMINED AT FIP/CONSTRUCTION PLAN SUBMITTAL COMPLIANT WITH STORMWATER MANAGEMENT DESIGN MANUAL AND NO LESS 30 FEET WIDE.

LEGEND

PAVEMENT	
BUILDING SETBACK	
SIDEWALK	
WETLAND BUFFER	
GREENBELT BUFFER	
EASEMENT	
SWALE	
TOP OF BANK	



PRELIMINARY SITE PLAN
 FOR:
WILLOW HAMMOCK
 LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

MOHAMMAD J. ROSE
 PROFESSIONAL ENGINEER
 REG. NO. 12000

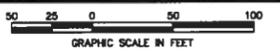
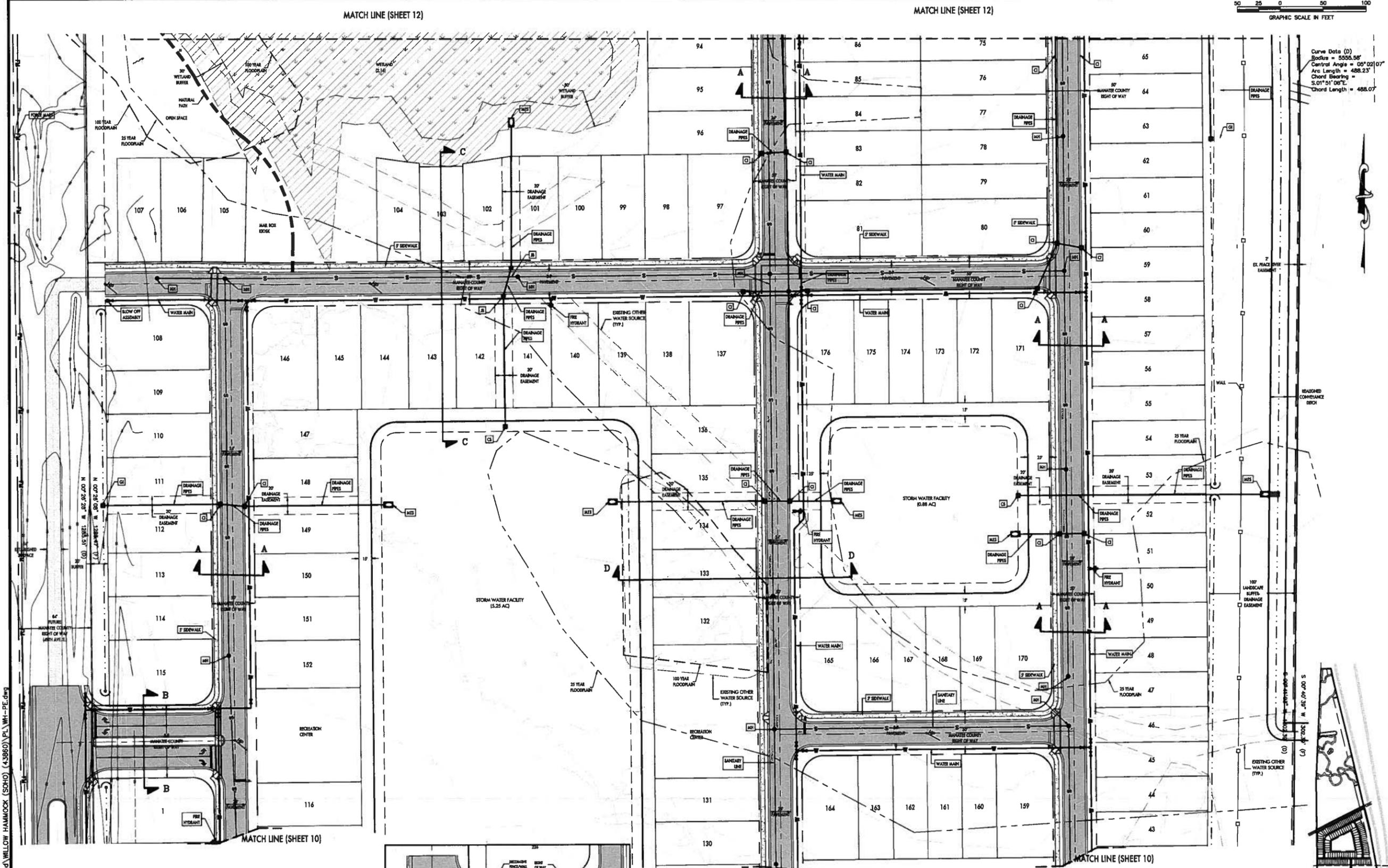
ZNS ENGINEERING
 ENGINEERS | PLANNERS | SURVEYORS
 LANDSCAPE ARCHITECTS
 200 W. AVENUE DRIVE EAST, MANATEE, FL 34428
 TEL: 888.222.2222 | FAX: 888.222.2222

REVISIONS

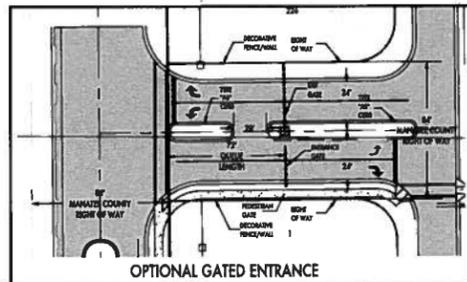
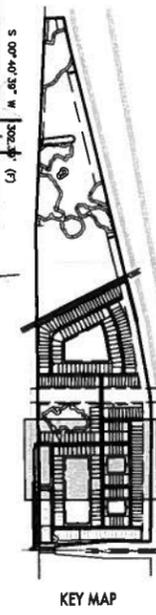
NO.	DATE	DESCRIPTION
1	3/27/15	ISSUED FOR PER. M. COMMENTS
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DESIGNED: JHAMMOCK
 DRAWN: SUTELLE
 DATE: 5/12/15
 JOB NO.: 43860
 SCALE: 1"=50'
 SHEET: 02



Curve Data (D)
 Radius = 5555.56'
 Central Angle = 05° 02' 07"
 Arc Length = 488.25'
 Chord Bearing = S.01° 51' 06" E
 Chord Length = 488.07'



LEGEND

	EXISTING CONCRETE TO REMAIN		S - SANITARY SEWER
	EXISTING ASPHALT PAVEMENT TO REMAIN		FM - FORCE MAIN
	PROPOSED CONCRETE		CI - CURB INLET
	PROPOSED ASPHALT PAVEMENT		JB - JUNCTION BOX
	PROPERTY BOUNDARY		CS - CONTROL STRUCTURE
	EASEMENT		MES - MITERED END SECTION
	TOP OF BANK		FH - FIRE HYDRANT
	WATER MAIN		MH - MANHOLE
	STORM DRAIN		HP - PROPOSED HIGH POINT

NOTE

THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 732 OF THE MANATEE COUNTY EDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

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REVISIONS

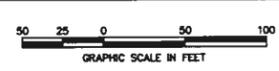
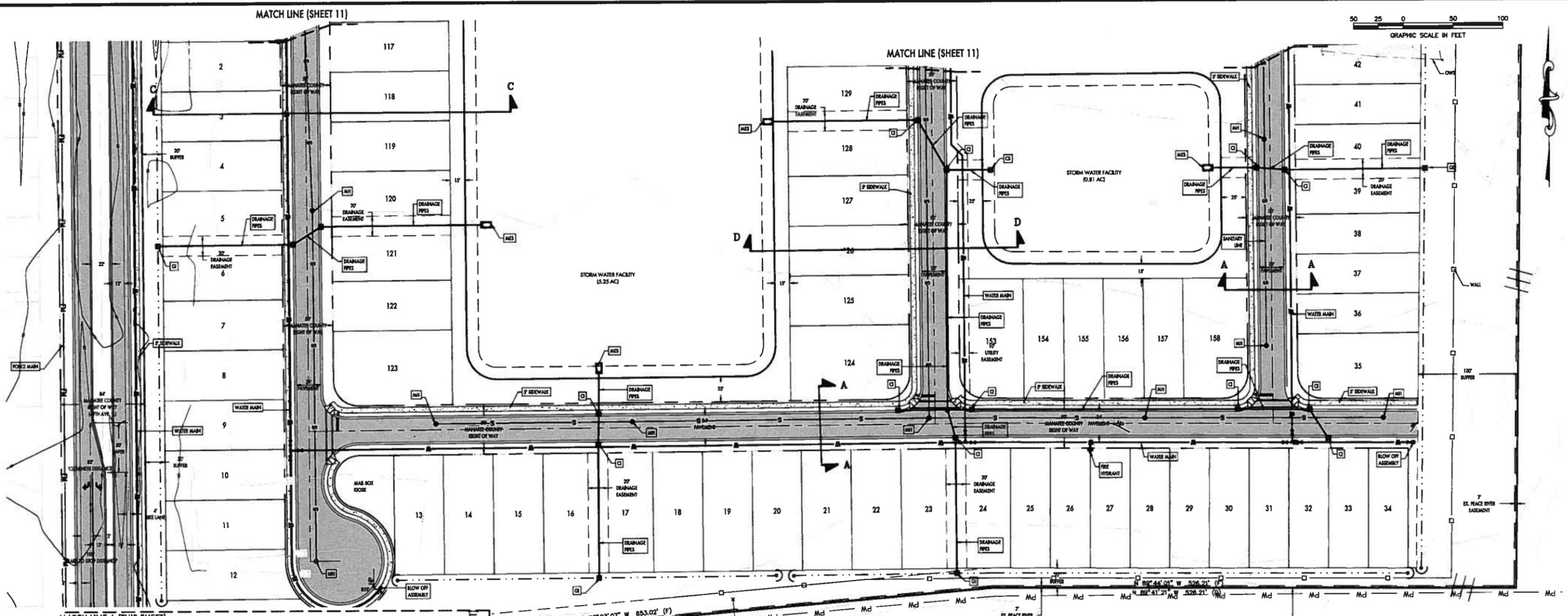
NO.	DATE	BY	DESCRIPTION
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PRELIMINARY ENGINEERING PLAN
 FOR:
WILLOW HAMMOCK
 LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 33 S & 34 S, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

DESIGNED BY: [Name]
 DRAWN BY: [Name]
 DATE: [Date]
 JOB NO.: [Number]
 SCALE: [Scale]
 SHEET: [Number]

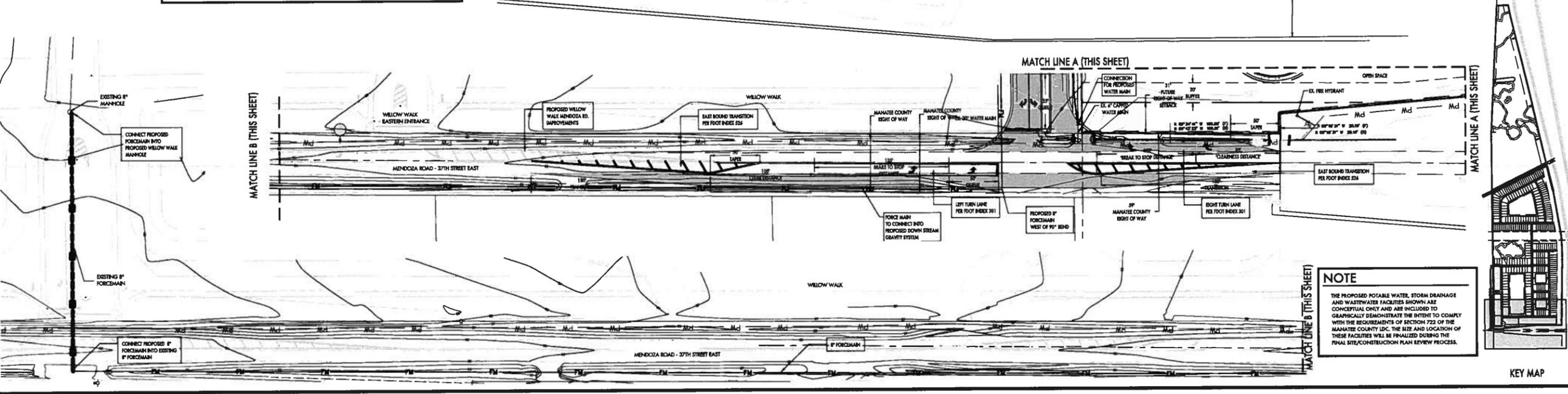
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Tue, 12 May 2015 11:50am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\PL\W1-PE.dwg



LEGEND

	EXISTING CONCRETE TO REMAIN		S - SANITARY SEWER
	EXISTING ASPHALT PAVEMENT TO REMAIN		FM - FORCE MAIN
	PROPOSED CONCRETE		CI - CURB INLET
	PROPOSED ASPHALT PAVEMENT		JB - JUNCTION BOX
	PROPERTY BOUNDARY		CS - CONTROL STRUCTURE
	EASEMENT		MES - MITERED END SECTION
	TOP OF BANK		FH - FIRE HYDRANT
	WATER MAIN		MH - MANHOLE
	STORM DRAIN		HP - PROPOSED HIGH POINT



NOTE
 THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

KEY MAP

ZNS ENGINEERING
 ENGINEERS | PLANNERS | SURVEYORS
 LANDSCAPE ARCHITECTS

MATTHEW J. KROGT
 PROFESSIONAL ENGINEER #8972

REVISIONS

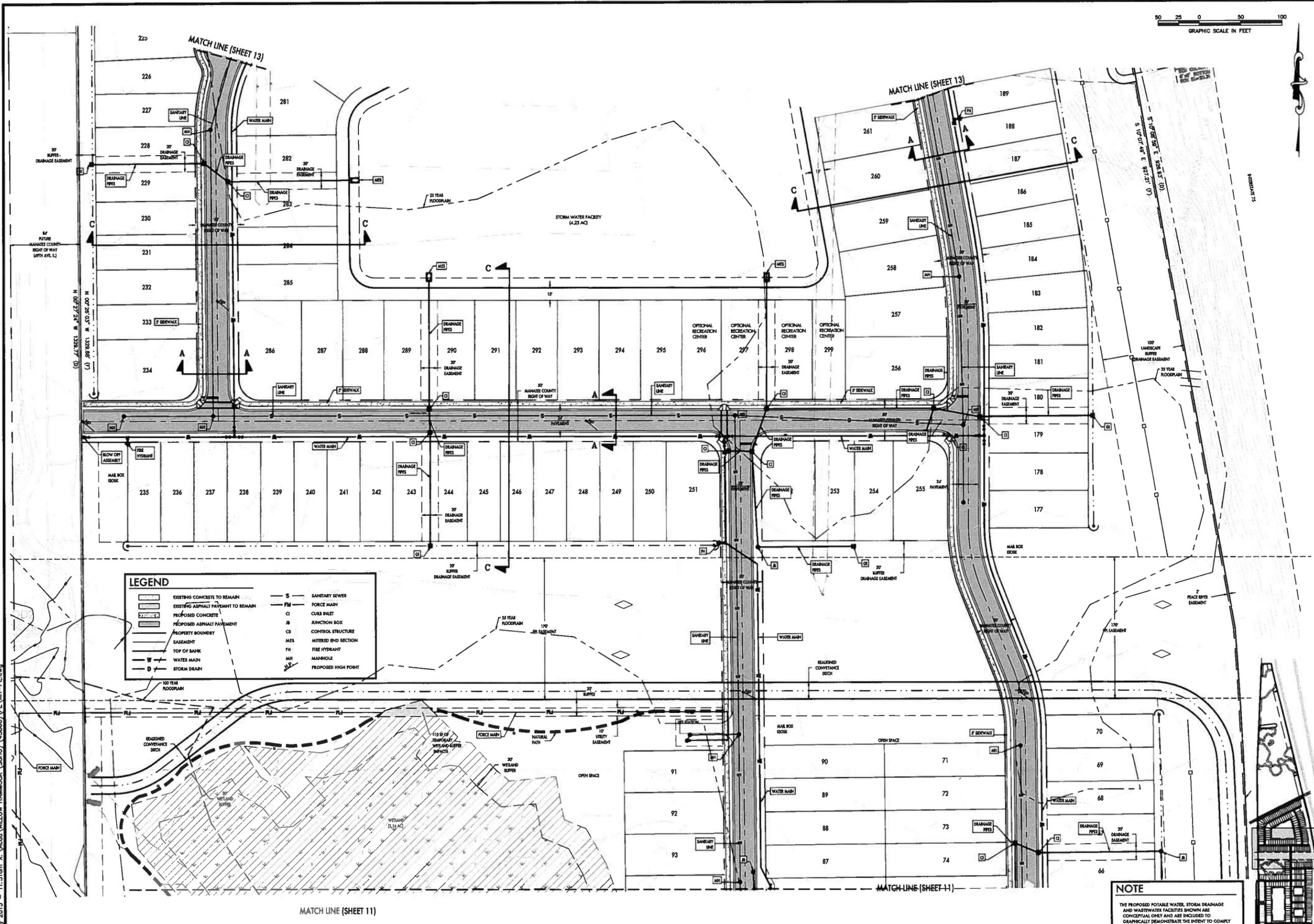
NO.	DATE	DESCRIPTION
1	02/20/15	ISSUED FOR PERM. NO. COMMENTS
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DESIGNED: JHAMMOCK
 DRAWN: JHAMMOCK
 DATE: 02/20/15
 JOB NO.: 43860
 SCALE: 1"=50'
 SHEET: 10

PRELIMINARY ENGINEERING PLAN
 FOR:
WILLOW HAMMOCK
 LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 33 S. & 34 SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

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Tue, 12 May 2015 - 11:51am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\PL\WH-PE.dwg



LEGEND			
[Symbol]	EXISTING CONCRETE TO REMAIN	S	SANITARY SEWER
[Symbol]	EXISTING ASPHALT PAVEMENT TO REMAIN	FM	FORCE MAIN
[Symbol]	PROPOSED CONCRETE	CI	CURB INLET
[Symbol]	PROPOSED ASPHALT PAVEMENT	JB	JUNCTION BOX
[Symbol]	PROPERTY BOUNDARY	CS	CONTROL STRUCTURE
[Symbol]	EASEMENT	MES	MITERED END SECTION
[Symbol]	TOP OF BANK	TH	FIRE HYDRANT
[Symbol]	WATER MAIN	MH	MANHOLE
[Symbol]	STORM DRAIN	HP	PROPOSED HIGH POINT

NOTE
 THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 222 OF THE FLORIDA STATUTES. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

ZNS ENGINEERING
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 LANDSCAPE ARCHITECTS



NO.	REVISIONS
1	UPDATED PLAN PER ME COMMENTS
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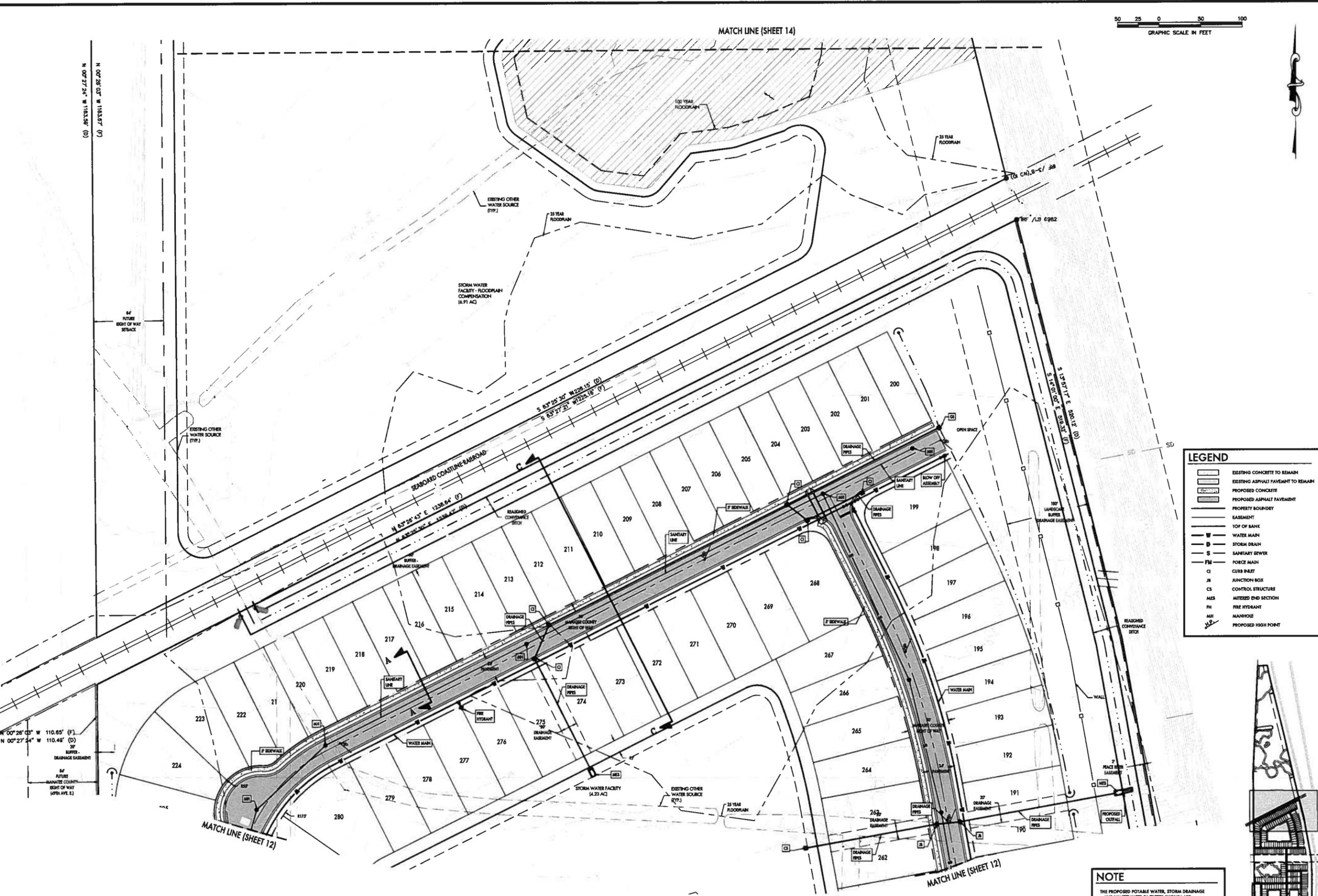
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PRELIMINARY ENGINEERING PLAN
 FOR:
WILLOW HAMMOCK
 LOCATED IN: SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

DESIGNED: JIMMIE	DATE: 5/7/15	SCALE: 1"=50'	SHEET: 12
DRAWN: JIMMIE	DATE: 5/7/15	SCALE: 1"=50'	
CHECKED: JIMMIE	DATE: 5/7/15	SCALE: 1"=50'	
APPROVED: JIMMIE	DATE: 5/7/15	SCALE: 1"=50'	

PROFESSIONAL ENGINEER REG. NO. 43860
 PROFESSIONAL SURVEYOR REG. NO. 11927
 PROFESSIONAL LANDSCAPE ARCHITECT REG. NO. 11927

Tue, 12 May 2015 11:51am X:\acad\WILLOW HAMMOCK (SOHO) (43860)\PL\WH-PE.dwg

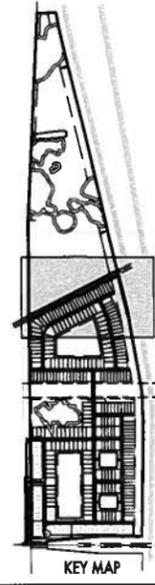


LEGEND

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[Symbol]	EXISTING ASPHALT PAVEMENT TO REMAIN
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	PROPERTY BOUNDARY
[Symbol]	EASEMENT
[Symbol]	TOP OF BANK
[Symbol]	WATER MAIN
[Symbol]	STORM DRAIN
[Symbol]	SANITARY SEWER
[Symbol]	FORCE MAIN
[Symbol]	CURB INLET
[Symbol]	JUNCTION BOX
[Symbol]	CONTROL STRUCTURE
[Symbol]	MITERED END SECTION
[Symbol]	FIRE HYDRANT
[Symbol]	MANHOLE
[Symbol]	PROPOSED HIGH POINT

NOTE

THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY IDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.



DESIGNED: JAMBERE

DRAWN: [Name]

DATE: 5/27/15

JOB NO: 43860

SCALE: 1"=50'

SHEET: 13

PRELIMINARY ENGINEERING PLAN

FOR:

WILLOW HAMMOCK

LOCATED IN:

SECTION 4 & 33, TOWNSHIP 33 S & 34 S, RANGE 18 EAST

MANATEE COUNTY, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
1	5/27/15	ISSUED FOR PERMITS
2		
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200 W. AVENUE SOUTH EAST, MANATEE, FL 34460
 PHONE: 888.262.8400 | FAX: 941.748.3514

MATTHEW J. KROGT

PROFESSIONAL INCHARGE #00272

SIGNATURE

Tue, 12 May 2015 - 11:52am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\PL\WH-PE.dwg

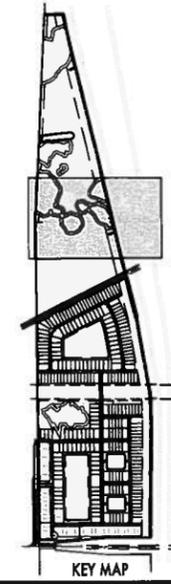


LEGEND

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[Symbol]	EXISTING ASPHALT PAVEMENT TO REMAIN
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	PROPERTY BOUNDARY
[Symbol]	EASEMENT
[Symbol]	TOP OF BANK
W	WATER MAIN
D	STORM DRAIN
S	SANITARY SEWER
FM	FORCE MAIN
CI	CURB INLET
J	JUNCTION BOX
CS	CONTROL STRUCTURE
MES	MITERED END SECTION
PH	FIRE HYDRANT
MH	MANHOLE
[Symbol]	PROPOSED HIGH POINT

NOTE

THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.



DESIGNED: JIMMERSE
DRAWN: [blank]
DATE: 5/27/15
JOB NO: 43860
SCALE: 1"=50'
SHEET: 14

PRELIMINARY ENGINEERING PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
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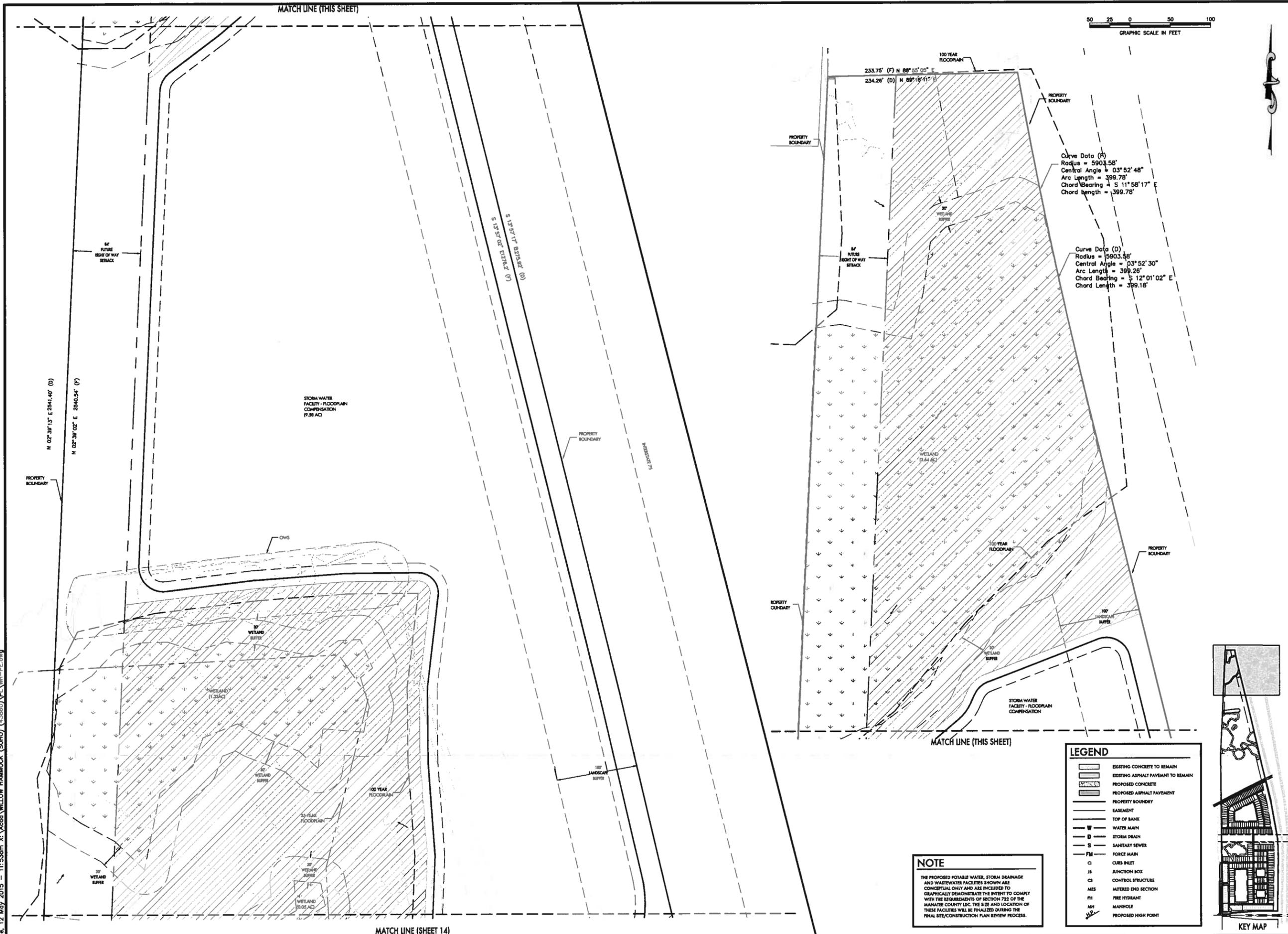
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LANDSCAPE ARCHITECTS

MANATEE COUNTY, FLORIDA
201 88 AVENUE ONE EAST, MANATEE, FL 34461
FAX: 888.888.8888 | TELEPHONE: 888.888.8888 | WWW.ZNS.COM

MANATEE COUNTY, FLORIDA
PROFESSIONAL ENGINEER #88772
MANATEE COUNTY, FLORIDA
LANDSCAPE ARCHITECT #15000

Tue, 12 May 2015 11:53am X:\Acad\WILLOW HAMMOCK (SCH0) (43866)\P\WHL-PE.dwg



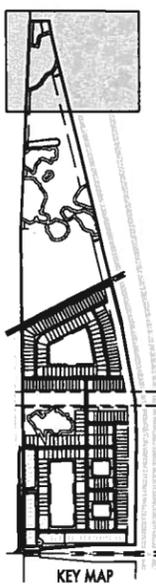
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 Central Angle = 03° 52' 48"
 Arc Length = 399.78'
 Chord Bearing = S 11° 58' 17" E
 Chord Length = 399.78'

Curve Data (D)
 Radius = 5903.48'
 Central Angle = 03° 52' 30"
 Arc Length = 399.26'
 Chord Bearing = S 12° 01' 02" E
 Chord Length = 399.18'

NOTE
 THE PROPOSED POTABLE WATER, STORM DRAINAGE AND WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

LEGEND

	EXISTING CONCRETE TO REMAIN
	EXISTING ASPHALT PAVEMENT TO REMAIN
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	PROPERTY BOUNDARY
	EASEMENT
	TOP OF BANK
	WATER MAIN
	STORM DRAIN
	SANITARY SEWER
	FORCE MAIN
	CURB INLET
	JUNCTION BOX
	CONTROL STRUCTURE
	ALTERED END SECTION
	FIRE HYDRANT
	MANHOLE
	PROPOSED HIGH POINT



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 LANDSCAPE ARCHITECTS

MANATEE COUNTY, FLORIDA
 SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST

PRELIMINARY ENGINEERING PLAN FOR WILLOW HAMMOCK

DATE: 5/12/15
 SCALE: 1"=50'

DESIGNED: JAMBERCK
 DRAWN: JAMBERCK
 CHECKED: JAMBERCK

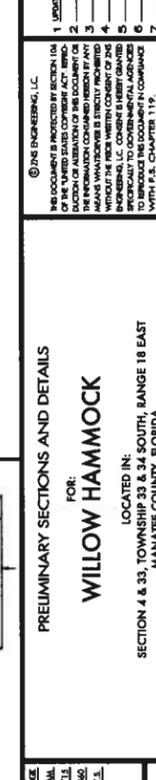
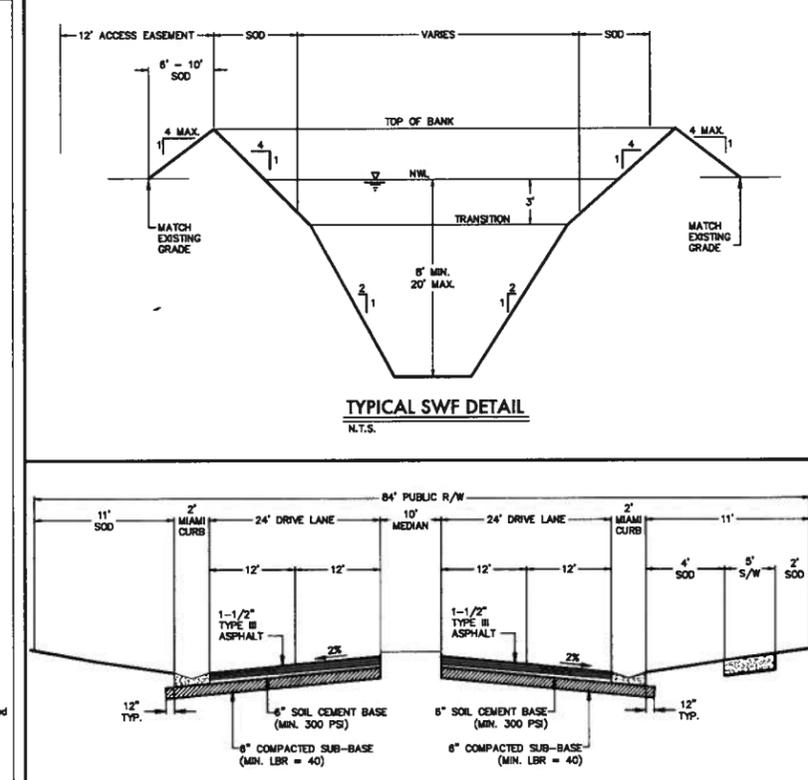
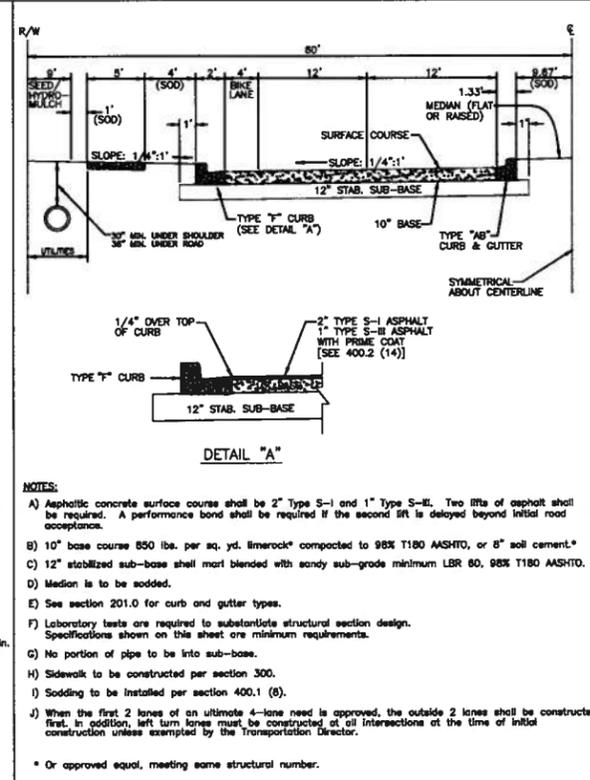
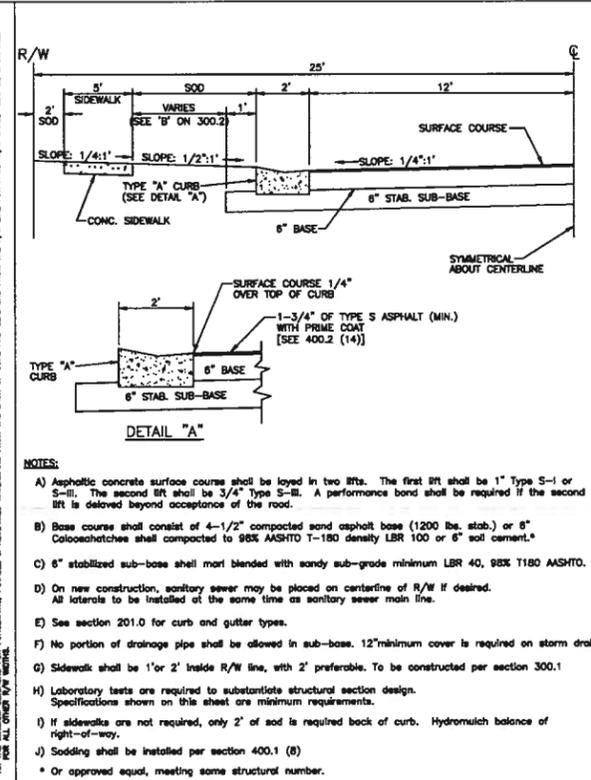
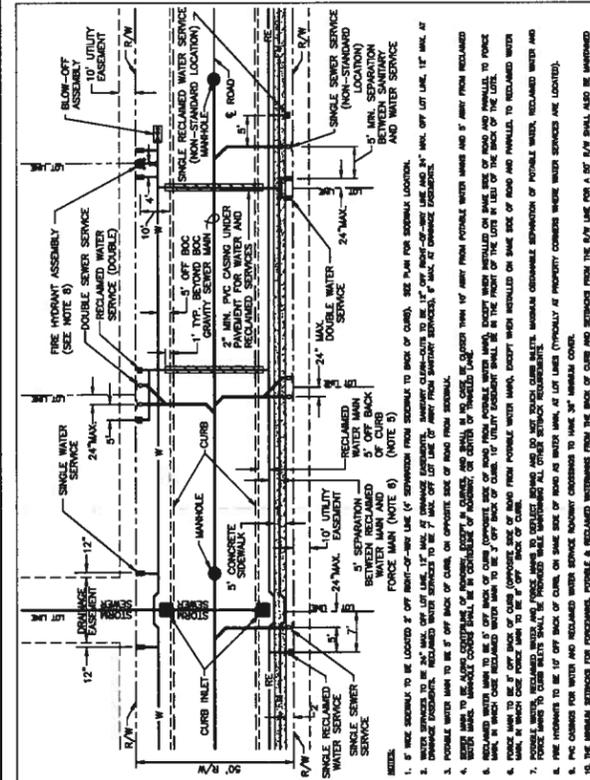
REVISIONS

NO.	DATE	DESCRIPTION
1	5/12/15	ISSUED FOR PERMITS
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MANATEE COUNTY, FLORIDA
 SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST

MANATEE COUNTY, FLORIDA

Tue, 12 May 2015 11:53am X:\Acad\WILLOW HAMMOCK (SOHO) (43960)\PL\WH-DET.dwg



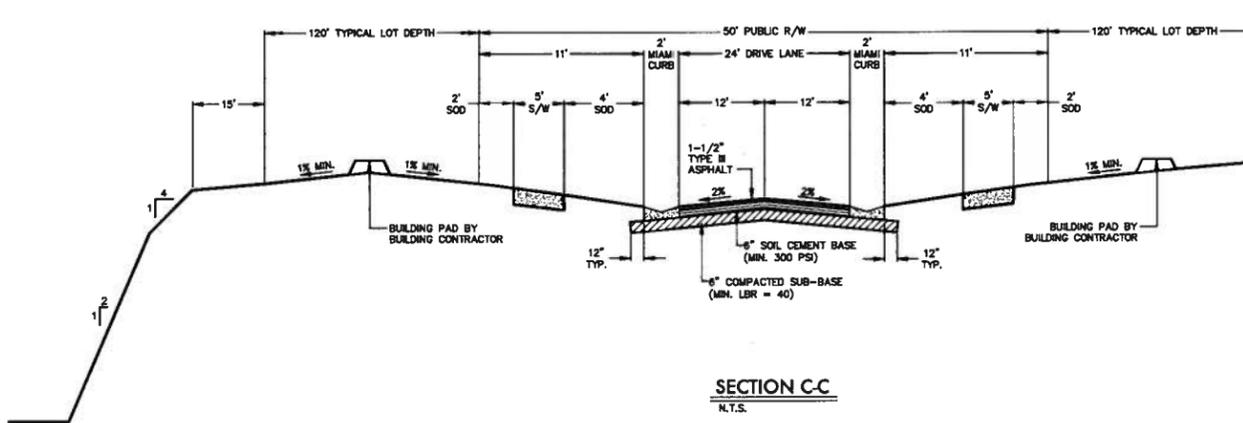
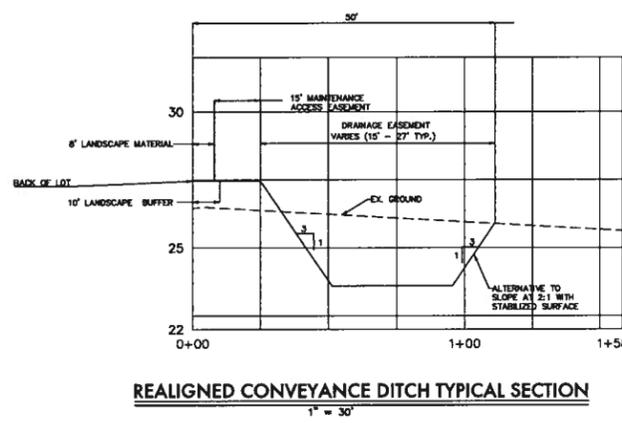
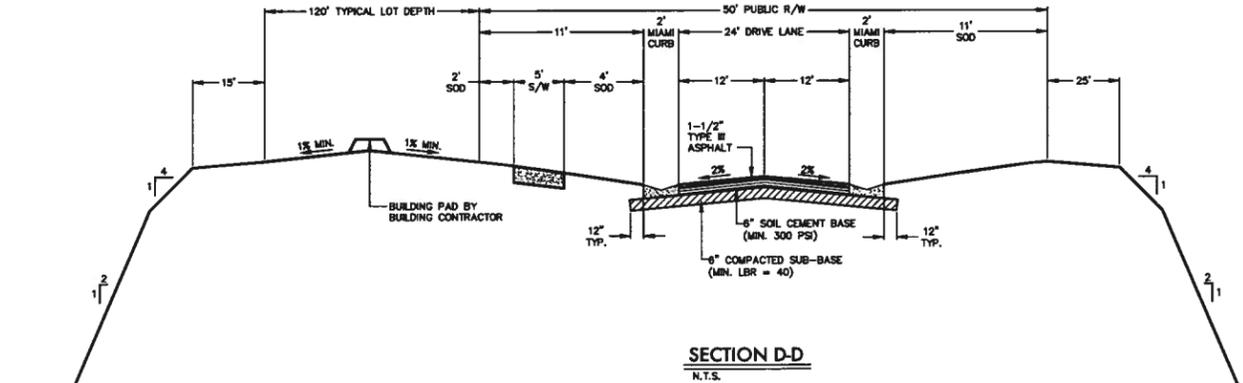
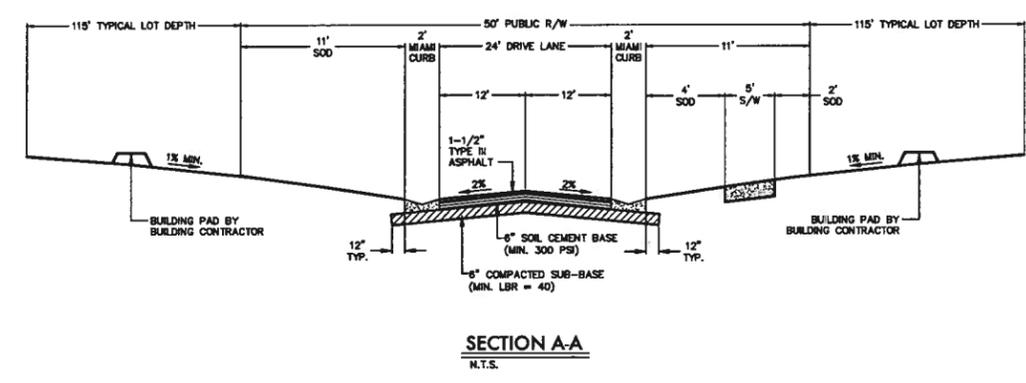
MANATEE COUNTY PUBLIC WORKS DEPARTMENT		UTILITY LAYOUT FOR 50' R/W	UG-17
REVISION DATE 11/10	DATE MAY 10, 2011	DATE OF APPROVAL	PAGE 117

MANATEE COUNTY TRANSPORTATION DEPARTMENT		LOCAL URBAN RESIDENTIAL	401.8
REVISION DATE	DATE OF B.O.C.C. APPROVAL 6/12/07		

MANATEE COUNTY TRANSPORTATION DEPARTMENT		TYPICAL 4-LANE DIVIDED ROADWAY	401.2
REVISION DATE	DATE OF B.O.C.C. APPROVAL 6/12/07		

MANATEE COUNTY TRANSPORTATION DEPARTMENT		TYPICAL 4-LANE DIVIDED ROADWAY	401.2
REVISION DATE	DATE OF B.O.C.C. APPROVAL 6/12/07		

DESIGNED BY DRAWN BY DATE JOB NO. SCALE SHEET	MAN JZ/LJL 11/10 43960 N.T.S. 11
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ENGINEERS | PLANNERS | SURVEYORS
LANDSCAPE ARCHITECTS

MANATEE COUNTY, FLORIDA

SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

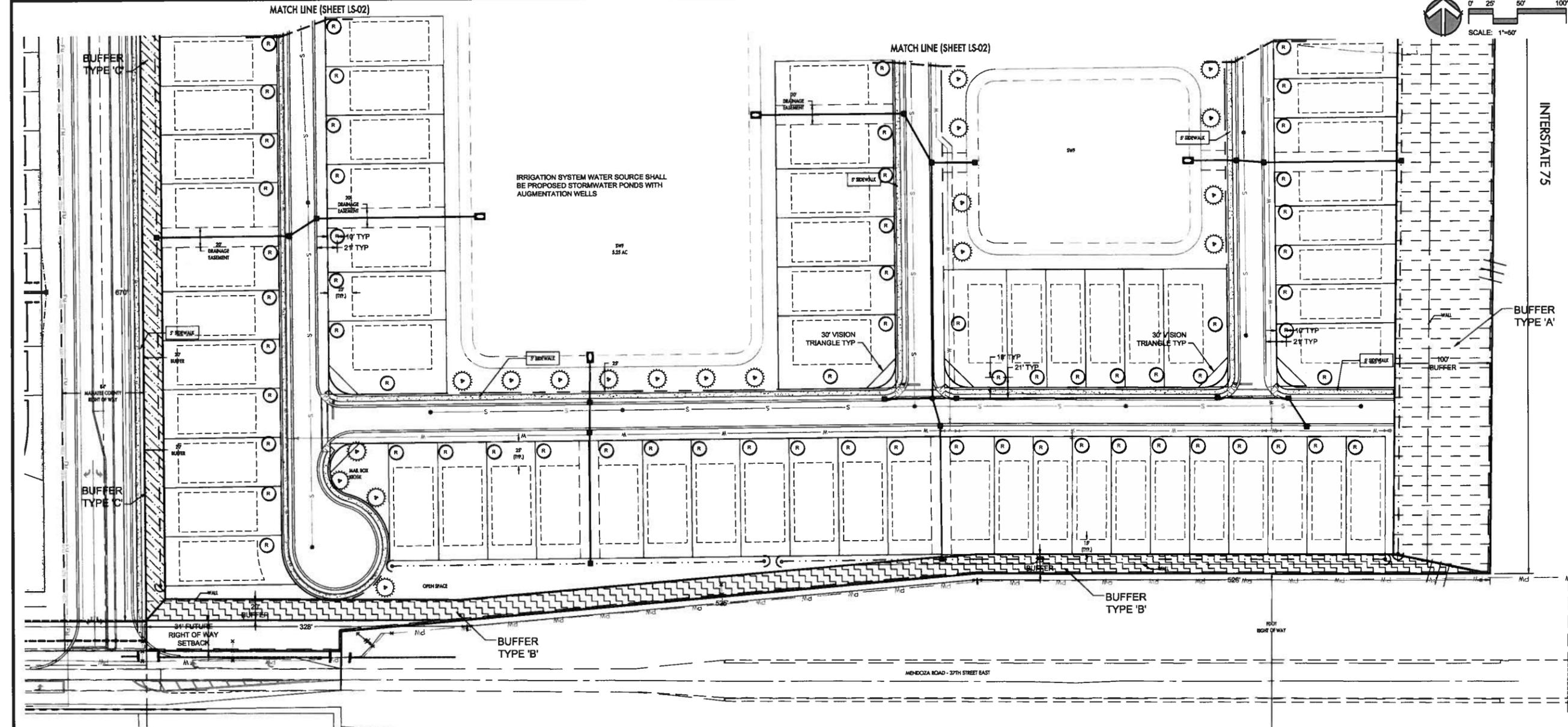
FOR:
WILLOW HAMMOCK

PRELIMINARY SECTIONS AND DETAILS

DATE: 11/10/11

SCALE: N.T.S.

SHEET 11



ZNS ENGINEERING
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 LANDSCAPE ARCHITECTS

MANUELL J. DORSET
 PROFESSIONAL ENGINEER
 REG. NO. 11582

201 S. AVENUE DRIVE EAST, SUITE 200
 TAMPA, FLORIDA 33606
 TEL: 813.289.0000 | FAX: 813.289.0001
 WWW.ZNSENGINEERING.COM

REVISIONS

1	ESP SUBMITTAL	2014.01.15.KLB
2	RESPOND TO I.M.C. COMMENTS	2015.03.05.KLB
3	REVISE BUFFER TYP. AND SECTIONS	2015.03.25.KLB
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PRELIMINARY SITE PLAN NOTES

1. THIS IS A PRELIMINARY LANDSCAPE PLAN. ADDITIONAL AND MORE SPECIFIED INFORMATION WILL BE PROVIDED AT TIME OF FINAL SITE PLAN SUBMITTAL.
2. A TREE LOCATION SURVEY WILL BE COMPLETED ALONG WITH TREE PROTECTION, TREE REMOVAL AND TREE REPLACEMENT CALCULATIONS AT TIME OF FINAL SITE PLAN SUBMITTAL. CALCULATIONS WILL BE IN ACCORDANCE WITH SECTION 714 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE.
3. INDIVIDUAL LOT STREET TREES SHALL BE INSTALLED BY BUILDER PRIOR TO HOME OCCUPANCY. TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UTILITIES AND ACCESS. INDIVIDUAL LOT TREES WILL BE IRRIGATED BY THE INDIVIDUAL LOT IRRIGATION SYSTEMS.
4. THE LOWEST QUALITY WATER SOURCE SHALL BE USED AS AN IRRIGATION WATER SOURCE FOR COMMON AREA PLANTINGS. IRRIGATION SOURCE SHALL BE PROPOSED STORM WATER PONDS WITH WELLS TO SUPPLEMENT WATER LEVELS.
5. A 100% AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO SUPPLY WATER TO ALL REQUIRED LANDSCAPE MATERIAL. THE SYSTEM SHALL INCLUDE CONTROLLERS WITH RAIN SENSORS.
6. RESIDENTIAL LOTS 100' WIDTH OR LESS SHALL HAVE 1 STREET TREE INSTALLED PER LOT PER ROADWAY FRONTAGE (CORNER LOTS HAVE 2 TREES). RESIDENTIAL LOTS 60' WIDTH OR LESS MAY UTILIZE SMALLER MATURING CANOPY OR UNDER STORY TREES. STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER. ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS.
7. IRRIGATION FOR INDIVIDUAL RESIDENTIAL LOT STREET TREES SHALL BE THE RESPONSIBILITY OF THE LOT OWNER.
8. THIS PROJECT IS LOCATED WITHIN AN ENTRANCEWAY.

TYPICAL BUFFER KEY
 SEE SHEET LS-07 FOR DETAILS AND SPECIFICATIONS

- BUFFER TYPE 'A' I-75 ROADWAY BUFFER
- BUFFER TYPE 'B' MENDOZA ROADWAY BUFFER
- BUFFER TYPE 'C' 49TH AVE E ROADWAY BUFFER
- BUFFER TYPE 'D' FPL BUFFER (OPEN SPACE)
- BUFFER TYPE 'E' RAILWAY BUFFER

RESIDENTIAL LOT STREET TREES

- RESIDENTIAL LOTS 100' WIDTH OR LESS SHALL HAVE 1 STREET TREE INSTALLED PER LOT PER ROADWAY FRONTAGE (CORNER LOTS HAVE 2 TREES).
- RESIDENTIAL LOTS 60' WIDTH OR LESS MAY UTILIZE SMALLER MATURING CANOPY OR UNDER STORY TREES.
- STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER.
- ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS.

CONCEPT PLANT SCHEDULE

- RESIDENTIAL LOT STREET TREE
- STREET TREE
- UNDERSTORY TREE OR PALM
- EVERGREEN SHRUB

PRELIMINARY TREE PROTECTION NOTES

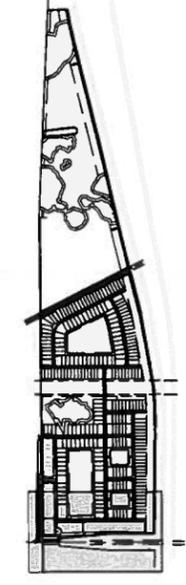
1. A TREE LOCATION SURVEY WILL BE COMPLETED ALONG WITH TREE PROTECTION, TREE REMOVAL AND TREE REPLACEMENT CALCULATIONS AT TIME OF FINAL SITE PLAN SUBMITTAL.
2. TREE REPLACEMENT CALCULATIONS WILL BE IN ACCORDANCE WITH SECTION 714 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE.
3. TREE PROTECTION BARRIER SHALL BE INSTALLED FOR TREES TO REMAIN AS PER DETAIL.
4. ANY TREE NOTED TO REMAIN WITH A > 15% IMPACT TO THE CANOPY (DUE TO CONSTRUCTION/DEVELOPMENT) SHALL HAVE REPLACEMENT TREES PROVIDED IN ACCORDANCE WITH SECTION 714 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE.

LEGEND

PAVEMENT	[Symbol]
BUILDING SETBACK	[Symbol]
SIDEWALK	[Symbol]
WETLAND BUFFER	[Symbol]
GREENBELT BUFFER	[Symbol]
BASEMENT	[Symbol]
SWALE	[Symbol]
TOP OF BANK	[Symbol]

EXOTIC PLANT SPECIES MANAGEMENT PLAN

All existing upland exotic and nuisance plant species existing on the site shall be removed per phase prior to the first Certificate of Occupancy issuance of that phase. The Developer agrees to perform an annual exotic inspection during the development process. Any identified species will be removed in accordance with Manatee County Land Development Code Section 715.4 and acceptable procedures as established by the Florida Department of Environmental Protection. Annual inspections and removal will be continued by the Owner.



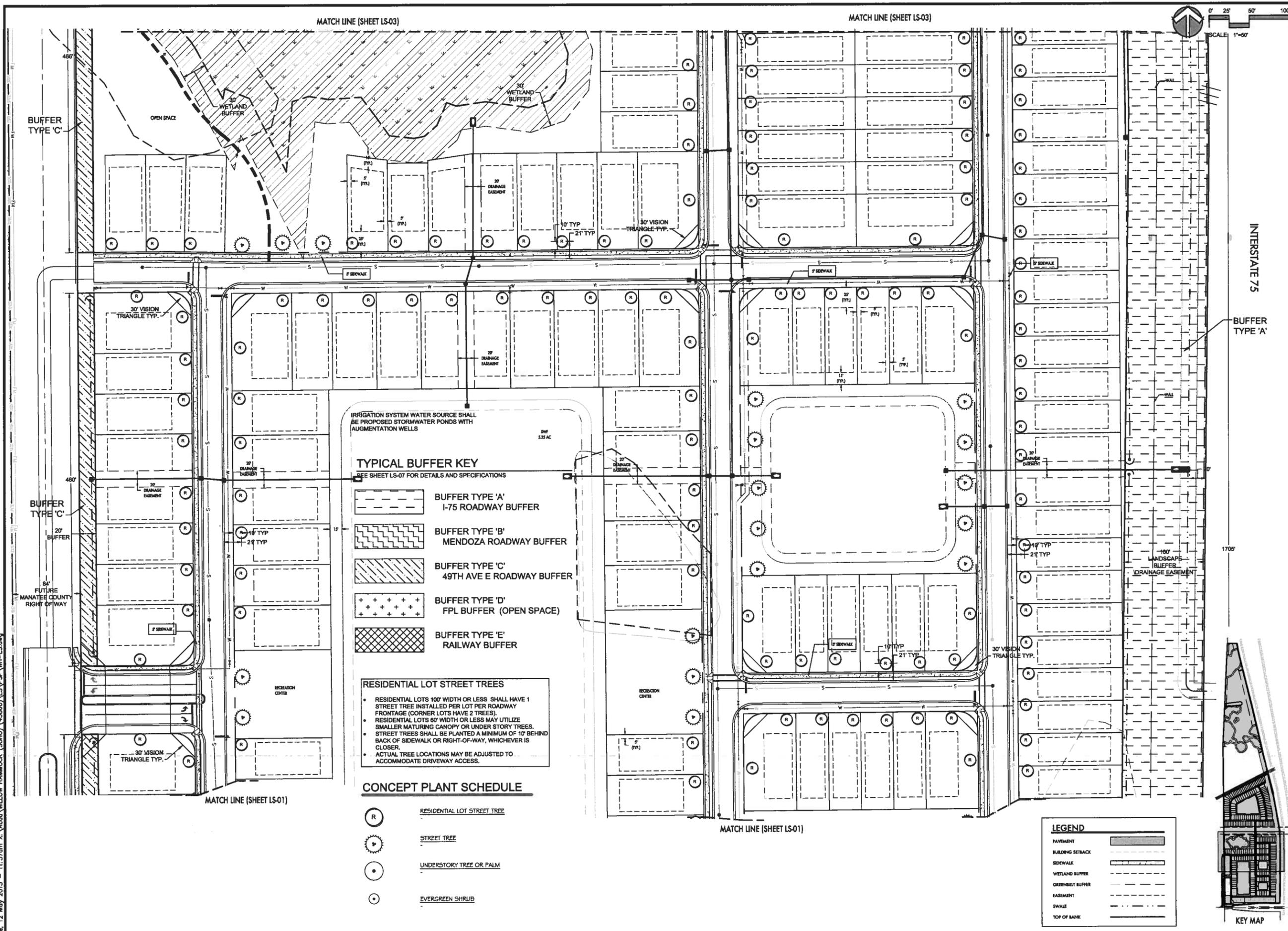
PRELIMINARY SITE PLAN - PLANTING PLAN
 FOR:
WILLOW HAMMOCK

LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 23 S & 34, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

DEVELOPER: [Blank]
 DRAWN BY: [Blank]
 DATE: 5/27/15
 JOB NO.: 4956
 SCALE: 1"=50'
 SHEET: [Blank]

Tue, 12 May 2015 11:55am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\LS\FSP\WFL-LS.dwg

Tue, 12 May 2015 - 11:57am X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\LS\PS\WH-LS.dwg



485'
BUFFER TYPE 'C'

460'
BUFFER TYPE 'C'

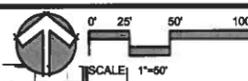
34'
FUTURE
MANATEE COUNTY
RIGHT OF WAY

MATCH LINE (SHEET LS-03)

MATCH LINE (SHEET LS-03)

MATCH LINE (SHEET LS-01)

MATCH LINE (SHEET LS-01)

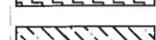
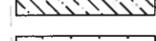


INTERSTATE 75

1705'
BUFFER TYPE 'A'

IRRIGATION SYSTEM WATER SOURCE SHALL
BE PROPOSED STORMWATER PONDS WITH
AUGMENTATION WELLS

TYPICAL BUFFER KEY
SEE SHEET LS-07 FOR DETAILS AND SPECIFICATIONS

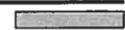
-  BUFFER TYPE 'A'
I-75 ROADWAY BUFFER
-  BUFFER TYPE 'B'
MENDOZA ROADWAY BUFFER
-  BUFFER TYPE 'C'
49TH AVE E ROADWAY BUFFER
-  BUFFER TYPE 'D'
FPL BUFFER (OPEN SPACE)
-  BUFFER TYPE 'E'
RAILWAY BUFFER

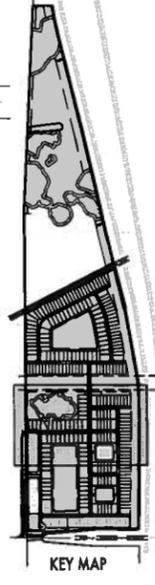
- RESIDENTIAL LOT STREET TREES**
- RESIDENTIAL LOTS 100' WIDTH OR LESS SHALL HAVE 1 STREET TREE INSTALLED PER LOT PER ROADWAY FRONTAGE (CORNER LOTS HAVE 2 TREES).
 - RESIDENTIAL LOTS 80' WIDTH OR LESS MAY UTILIZE SMALLER MATURING CANOPY OR UNDER STORY TREES.
 - STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER.
 - ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS.

CONCEPT PLANT SCHEDULE

-  RESIDENTIAL LOT STREET TREE
-  STREET TREE
-  UNDERSTORY TREE OR PALM
-  EVERGREEN SHRUB

LEGEND

PAVEMENT	
BUILDING SETBACK	
SIDEWALK	
WETLAND BUFFER	
GREENBELT BUFFER	
EASEMENT	
SWALE	
TOP OF BANK	



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ENGINEERS | PLANNERS | SURVEYORS
LANDSCAPE ARCHITECTS

3010 W. MANATEE AVENUE, SUITE 200
TAMPA, FLORIDA 33618
TEL: 813.288.1111 FAX: 813.288.1112

PRELIMINARY SITE PLAN - PLANTING PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN: SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

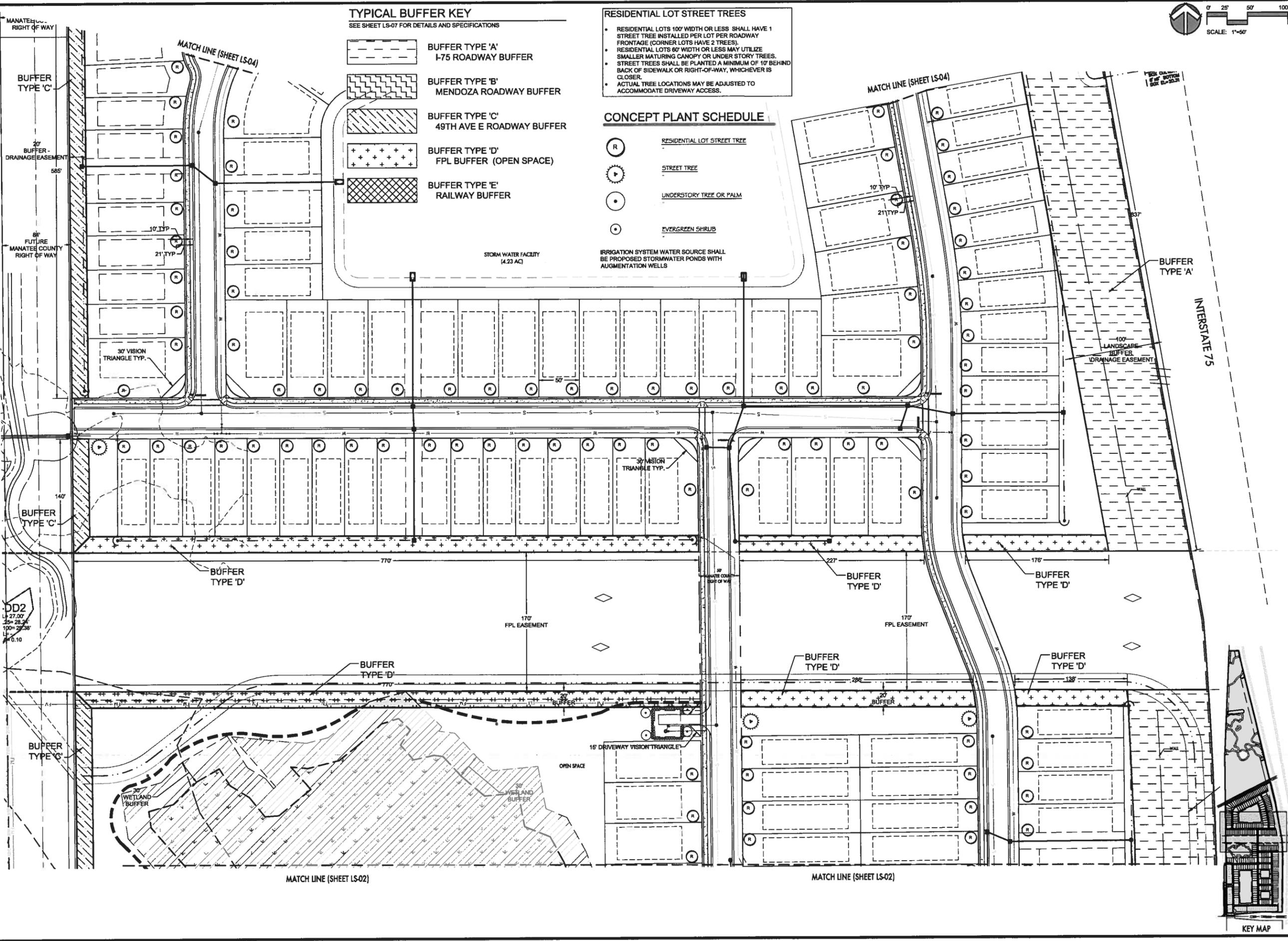
DESIGNED	DATE	SCALE
DRAWN	DATE	SCALE
CHECKED	DATE	SCALE
APPROVED	DATE	SCALE

REVISIONS

NO.	DATE	DESCRIPTION
1	2014.01.15	1 PSE SUBMITTAL
2	2015.03.05	2 RESPOND TO AC COMMENTS
3	2015.03.25	3 REUSE BUFFER TYP. AND SECTIONS
4		
5		
6		
7		

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Tue, 12 May 2015 - 11:59am X:\Acad\WILLOW HAMMOCK (5010) (43860)\LS\PSF\WF-LS.dwg



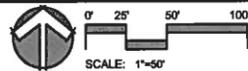
TYPICAL BUFFER KEY
SEE SHEET LS-07 FOR DETAILS AND SPECIFICATIONS

- BUFFER TYPE 'A'
I-75 ROADWAY BUFFER
- BUFFER TYPE 'B'
MENDOZA ROADWAY BUFFER
- BUFFER TYPE 'C'
49TH AVE E ROADWAY BUFFER
- BUFFER TYPE 'D'
FPL BUFFER (OPEN SPACE)
- BUFFER TYPE 'E'
RAILWAY BUFFER

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 - STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER.
 - ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS.

CONCEPT PLANT SCHEDULE

- RESIDENTIAL LOT STREET TREE
 - STREET TREE
 - UNDERSTORY TREE OR PALM
 - EVERGREEN SHRUB
- IRRIGATION SYSTEM WATER SOURCE SHALL BE PROPOSED STORMWATER PONDS WITH AUGMENTATION WELLS



MATTHEW J. KOSBY
PROFESSIONAL ENGINEER #82772

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LANDSCAPE ARCHITECTS



REVISIONS

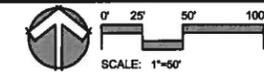
NO.	DATE	DESCRIPTION
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2	2015.03.05	2. RESPOND TO MC COMMENTS
3	2015.03.25	3. REVISE BUFFER TYP. AND SECTIONS
4		4. REVISE BUFFER TYP. AND SECTIONS
5		5. REVISE BUFFER TYP. AND SECTIONS
6		6. REVISE BUFFER TYP. AND SECTIONS
7		7. REVISE BUFFER TYP. AND SECTIONS

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PRELIMINARY SITE PLAN - PLANTING PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 S, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

DESIGNED: ANS/MSB
DRAWN: JLE
DATE: 5/12/15
JOB NO.: 43860
SCALE: 1/8"=1'-0"
SHEET: 15-03





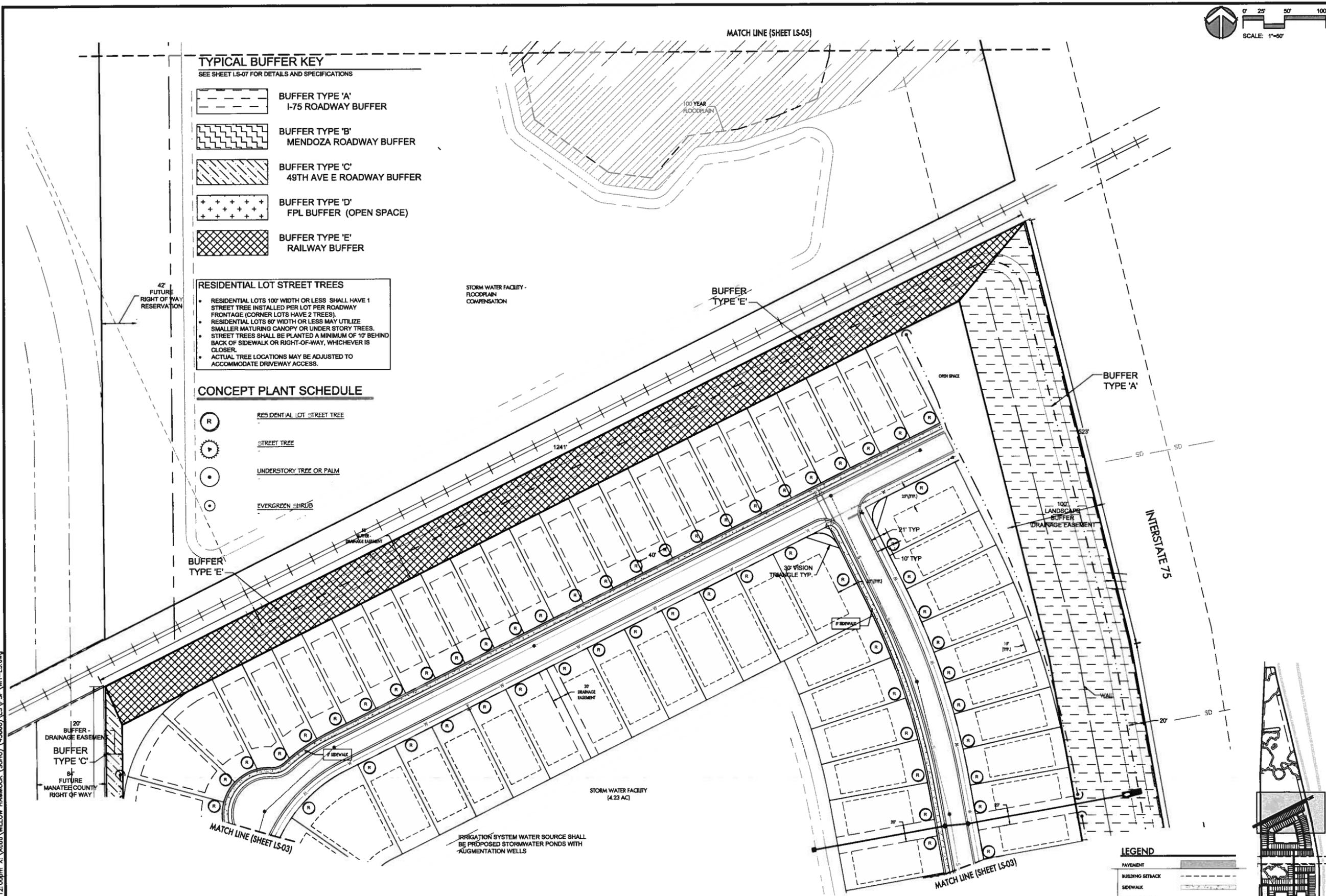
TYPICAL BUFFER KEY
SEE SHEET LS-07 FOR DETAILS AND SPECIFICATIONS

- BUFFER TYPE 'A'
I-75 ROADWAY BUFFER
- BUFFER TYPE 'B'
MENDOZA ROADWAY BUFFER
- BUFFER TYPE 'C'
49TH AVE E ROADWAY BUFFER
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FPL BUFFER (OPEN SPACE)
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RAILWAY BUFFER

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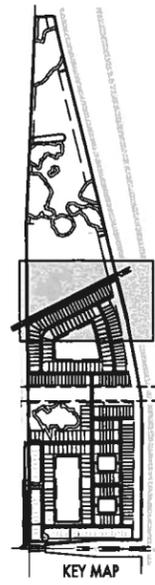
CONCEPT PLANT SCHEDULE

- RESIDENTIAL LOT STREET TREE
- STREET TREE
- UNDERSTORY TREE OR PALM
- EVERGREEN SHRUB



LEGEND

PAVEMENT	
BUILDING SETBACK	
SIDEWALK	
WETLAND BUFFER	
GREENBELT BUFFER	
EASEMENT	
SWALE	
TOP OF BANK	



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PRELIMINARY SITE PLAN - PLANTING PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 S, 34 S, SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

DESIGNED: [blank] DATE: 5/12/15
DRAWN: [blank] JOB NO: 4986 SCALE: 1/8"=1'-0"
CHECKED: [blank] SHEET: 654

REVISIONS

1	2	3	4	5	6	7

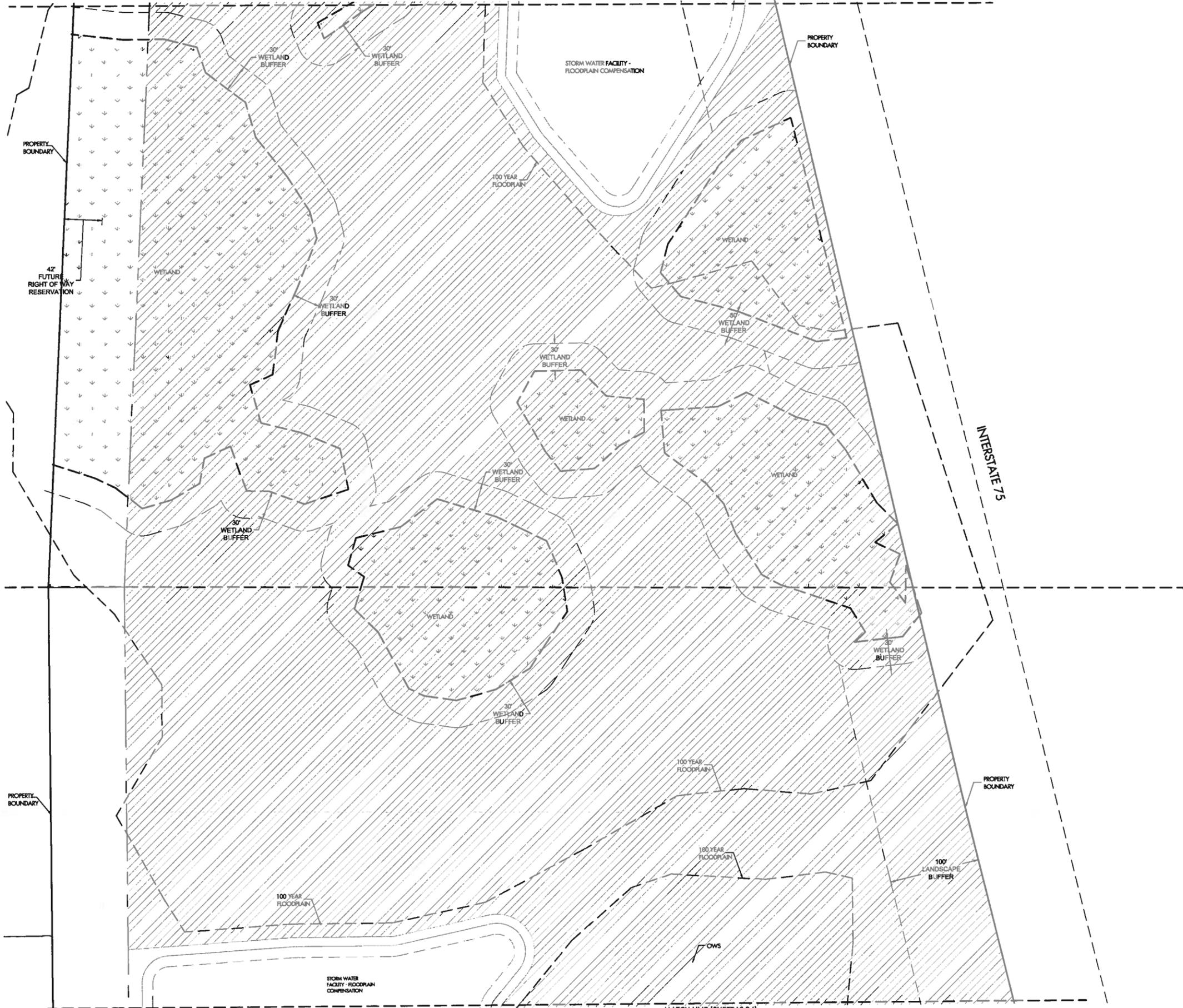
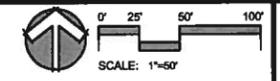
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MATHAN J. ROBERT
PROFESSIONAL ENGINEER (18077)
SEATTLE, WA
301 30 AVENUE 2000 EAST BANGOR, WA 98006
P: 509.741.7431
F: 509.741.7431

Tue, 12 May 2015 12:00pm X:\Acad\WILLOW HAMMOCK (SCH0) (43860)\LS\PS\WH-LS.dwg

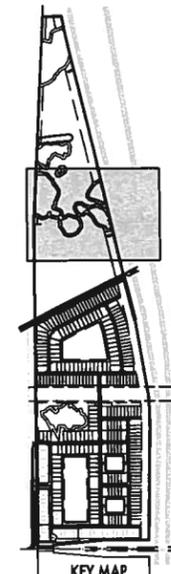
Tue, 12 May 2015 - 12:01pm X:\Acad\WILLOW HAMMOCK (SOHO) (43860)\LS\PS\WH-LS.dwg

MATCH LINE (SHEET LS-06)



LEGEND

PAYMENT	[Symbol]
BUILDING SETBACK	[Symbol]
SIDEWALK	[Symbol]
WETLAND BUFFER	[Symbol]
GREENBELT BUFFER	[Symbol]
EASEMENT	[Symbol]
SWALE	[Symbol]
TOP OF BANK	[Symbol]



MATTHEW J. KRAMT
PROFESSIONAL ENGINEER #82772

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LANDSCAPE ARCHITECTS
201 SW AVENUE, SUITE 1000, GAITHERSBURG, MD 20878
PHONE: 301.774.8800 | FAX: 301.774.8314

REVISIONS

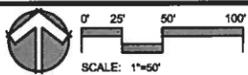
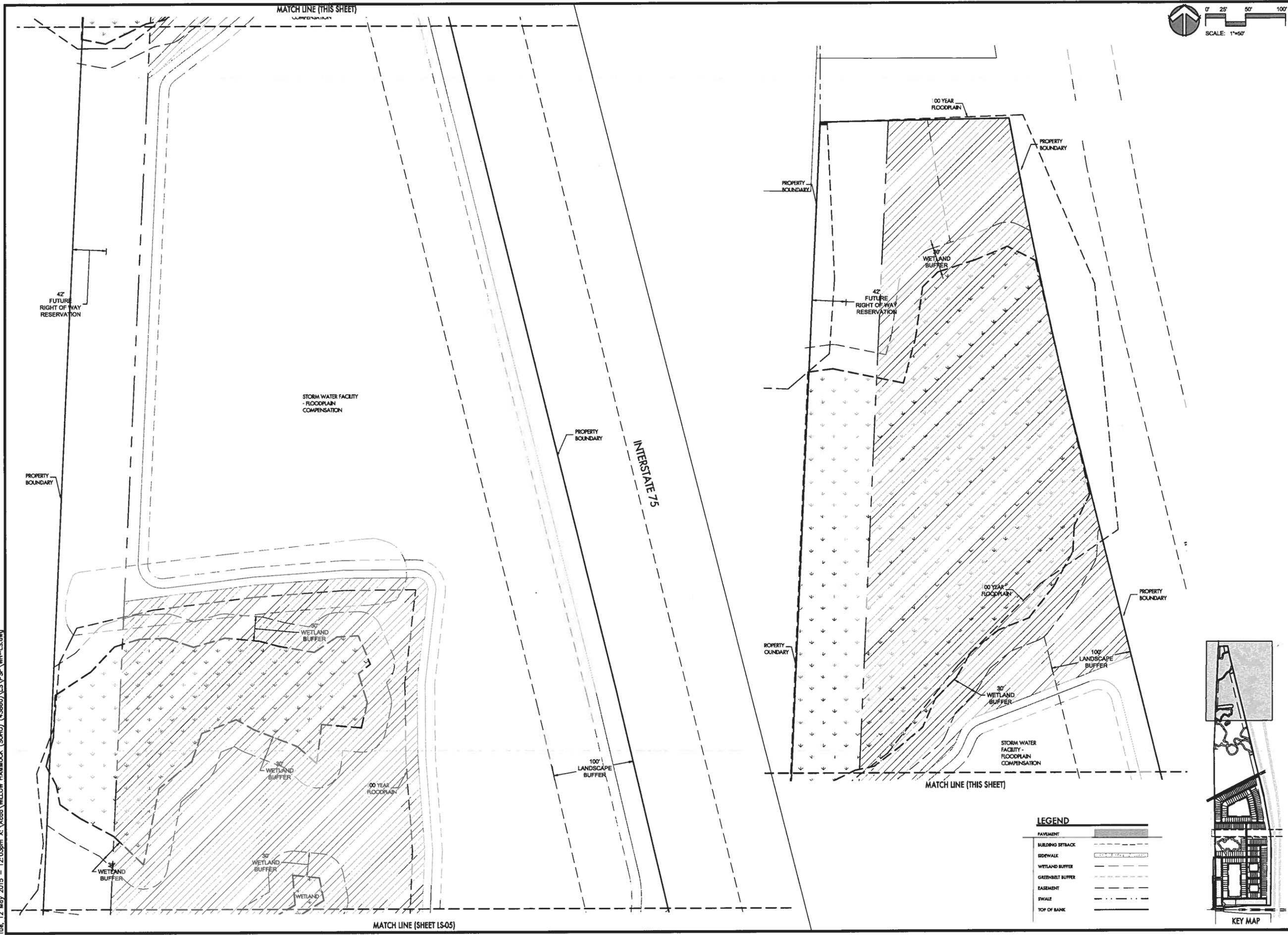
1	PS&P SUBMITTAL	2014.01.15.KLB
2	RESPOND TO AEC COMMENTS	2015.05.05.KLB
3	REVISE BUFFER TYP. AND SECTIONS	2015.05.25.KLB
4		
5		
6		
7		

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PRELIMINARY SITE PLAN - PLANTING PLAN
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 S & 34 S, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

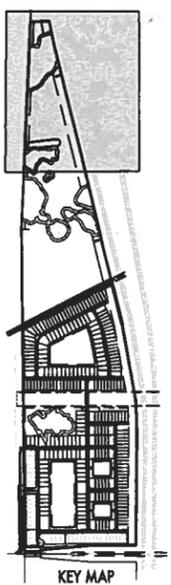
DESIGNED: [Blank]	DATE: 5/12/15
DRAWN: [Blank]	SCALE: 1"=50'
JOB NO: 43860	SHEET: LS-05

Tue, 12 May 2015 12:03pm X:\Acad\WILLOW HAMMOCK (SCH10) (43860)\LS\PSF\WH-LS.dwg



LEGEND

PAVEMENT	[Symbol]
BUILDING SETBACK	[Symbol]
SIDEWALK	[Symbol]
WETLAND BUFFER	[Symbol]
GREENBELT BUFFER	[Symbol]
EASEMENT	[Symbol]
SWALE	[Symbol]
TOP OF BANK	[Symbol]



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 LANDSCAPE ARCHITECTS

2014.01.15 KLB
 2015.03.05 KLB
 2015.03.25 KLB

1 ESP SUBMITTAL
 2 RESPOND TO MC COMMENTS
 3 REVISE BUFFER TYP. AND SECTIONS
 4
 5
 6
 7

PRELIMINARY SITE PLAN - PLANTING PLAN
 FOR:
WILLOW HAMMOCK
 LOCATED IN:
 SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
 MANATEE COUNTY, FLORIDA

DATE: 5/12/15
 JOB NO.:
 SCALE: 1"=50'
 SHEET: LS-05

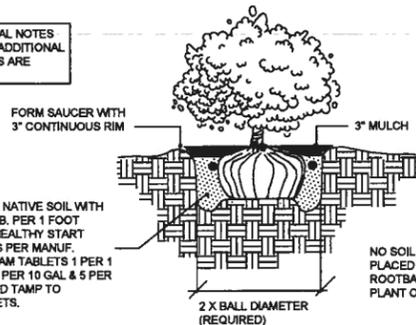
MATTHEW J. ROBERT
 PROFESSIONAL ENGINEER
 REG. NO. 12483

MANATEE COUNTY, FLORIDA
 2015.03.05 KLB
 2015.03.25 KLB

PLANTING GENERAL NOTES

- LANDSCAPE NOTES ARE ALL INCLUSIVE. ALL QUESTIONS CONCERNING THE LANDSCAPE PLAN, DETAILS, AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (841) 748-8080.
- REVIEW THE GENERAL NOTES, PLANT MATERIAL LIST, PLANS, DETAILS, AND WRITTEN SPECIFICATIONS (IF PROVIDED). THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE LANDSCAPE PLAN AS DRAWN AND DIRECTED BY THE NOTES AND SPECIFICATIONS. CONTACT THE LANDSCAPE ARCHITECT WHEN SIGNIFICANT FIELD CHANGES REQUIRE PLAN REVISIONS.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT COUNT TOTALS IN THE PLANT MATERIALS LIST ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. IMPROVISATIONS MADE BY THE LANDSCAPE CONTRACTOR SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER.
- SOD, MULCH, AND TOPSOIL QUANTITIES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY QUANTITIES NOTED ON THE PLANS ARE FOR REFERENCE ONLY. SODDING OF SWALES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR; HOWEVER, SOD FOR RETENTION AREAS (LAKE BANKS AND DRY RETENTION PONDS) SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- PRIOR TO SUBMITTING THE BID, THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. SEE ENGINEERING (CIVIL) PLANS FOR ADDITIONAL SITE INFORMATION.
- ALL PLANTS FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA NO. 1 QUALITY OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA 2ND EDITION (FEB. 1998 & UPDATED MAY 2005) & AS AMENDED. THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF ALL PLANT MATERIAL SUPPLIED BY THE LANDSCAPE CONTRACTOR. SPECIMEN MATERIAL SHALL BE APPROVED BEFORE INSTALLATION.
- ALL B&B OR "FIELD GROWN" MATERIAL (EXCEPT PALMS) SHALL BE OBTAINED FROM "ROOTS PLUS" CERTIFIED NURSERIES.
- ALL PLANT MATERIAL THAT HAS BEEN FIELD TAGGED BY THE LANDSCAPE ARCHITECT SHALL REMAIN TAGGED UNTIL FINAL ACCEPTANCE OF THE PROJECT. ALL MATERIAL NOT TAGGED BY LANDSCAPE ARCHITECT IS SUBJECT TO REJECTION. REJECTED PLANT MATERIAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE UNTIL ACCEPTABLE MATERIAL IS PROVIDED.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S FINANCIAL RESPONSIBILITY TO PREVENT PLANTS AND TREES FROM FALLING OR BEING BLOWN OVER; AND TO REPLACE ALL PLANTS WHICH ARE DAMAGED AT NO ADDITIONAL COST TO THE OWNER FOR SUSTAINED WINDS OF LESS THAN 65 MPH.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND CONTINUE UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE: PRUNING, MULCHING, WEEDING, REPLACEMENT OF STICKS OR DEAD PLANTS, WATERING (INCLUDING THE COST OF EQUIPMENT SUCH AS A WATER TRUCK), AND ANY OTHER CARE WHICH IS NECESSARY FOR PROPER GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE (1) YEAR FOLLOWING FINAL ACCEPTANCE BY THE OWNER. RELOCATED MATERIALS AND OWNER SUPPLIES ARE EXEMPT. DURING THE WARRANTY PERIOD THE LANDSCAPE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR THEFT, VANDALISM, OR UNUSUAL ACTS OF GOD.
- ALL TRIMMING OF EXISTING TREES SHALL BE CONDUCTED OR OVERSEEN BY A CERTIFIED ARBORIST.
- TOPSOIL MATERIAL, WHEN CALLED FOR ON THE PLANT LIST, SHALL BE FREE OF STICKS, STONES AND DEBRIS LARGER THAN 1" IN DIAMETER, AS WELL AS, ANY OTHER MATERIAL THAT MAY BE TOXIC OR OTHERWISE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE FERTILE, AND HAVE A PH LEVEL BETWEEN 6.5 AND 7.5.
- ALL BACKFILL SOIL MIXTURES SHALL CONTAIN BEST ON-SITE TOPSOIL, 20% PEAT, AND AMENDMENTS AS PER NOTES AND DETAILS. PH LEVELS SHALL BE BETWEEN 6.5 AND 7.5. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE PROPER PH LEVEL. MIX ORGANIC SOIL AMENDMENTS THOROUGHLY WITH THE NATIVE SOIL BEFORE BACKFILLING PLANTS.
- STAKE ALL TREES. SEE TREE PLANTING DETAIL.
- PROVIDE ARBOURGARD+ FLEXIBLE BARK PROTECTORS (MODEL A68-4) AROUND BASE OF TRUNK FOR ALL SINGLE TRUNK TREES FREE-STANDING IN SODDED AREAS. THEY ARE AVAILABLE AT ARBORIST SUPPLY HOUSE, INC., (FT. LAUDERDALE, FL: 1-800-748-8528).
- ALL TREES SHALL BE PLANTED WITH MYCOR TREE SAVER (3oz PER 1" CAL.) AND PHC HEALTHY START MACRO TABLETS (21 GRAM - 4 PER 1" CAL.) - SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION METHOD (PLANT HEALTH CARE, INC. 941-751-0455, JOHN DEERE LANDSCAPES 941-721-8882, SOUTHEAST PARTNERS 238-267-0156, PROFESSIONAL SUPPLY (861) 289-4511 AND UNIVERSAL SUPPLY 964-979-060) - OR APPROVED EQUAL.
- ALL PALMS SHALL BE PLANTED WITH MYCOR PALM SAVER - SEE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATE AND INSTALLATION METHOD (PLANT HEALTH CARE, INC. 1-800-421-6051) - OR APPROVED EQUAL.
- ON NON-IRRIGATED SITES OR AREAS, TREES AND PALMS SHALL ALSO RECEIVE TERRA-SORB HYDRO GEL (PLANT HEALTH CARE INC.) AS PER MANUFACTURER SPECIFICATIONS - OR APPROVED EQUAL.
- ALL SHRUBS SHALL RECEIVE 1/2 LB. OF MILORGANITE PER FOOT OF HEIGHT; TREES SHALL RECEIVE 5 LBS. PER INCH OF CALIPER; AND GROUND COVERS SHALL BE FERTILIZED AS PER LABEL INSTRUCTIONS - OR APPROVED EQUAL. IN ALL INSTANCES FERTILIZER SHALL BE MIXED IN EVENLY WITH BACKFILL MATERIAL.
- ALL SHRUBS AND GROUNDCOVER SHALL ALSO RECEIVE PHC HEALTHY START MACRO TABLETS (21 GRAM - 1 PER 1 GAL., 3 PER 5 GAL., 4 PER 10 GAL., AND 5 PER 15 GAL.), INSTALL AS PER MANUFACTURER'S DIRECTIONS.
- ONLY PRUNE TREES AND SHRUBS TO REMOVE DEAD OR DAMAGED FOLIAGE - OR TO COMPENSATE FOR ROOT LOSS CAUSED BY TRANSPLANTING. MAKE CERTAIN TO RETAIN THE PLANT MATERIAL'S NATURAL FORM WHEN PRUNING. NEVER CUT THE CENTRAL GROWTH LEADER OF A TREE, OR INSTALL ANY TREE THAT HAS HAD THE CENTRAL GROWTH LEADER CUT. ALL TREES SHALL BE TRIMMED FOR CLEAR TRUNK UNLESS OTHERWISE SPECIFIED.
- WHERE PLANTING AREAS ADJUT PAVEMENT, FINISHED SOIL LEVEL SHALL BE THREE INCHES (3") BELOW TOP OF PAVEMENT.
- ALL PLANTING AREAS SHALL RECEIVE MULCH AT THE RATE OF 1 CUBIC YARD PER 110 SF. OF AREA (THIS EQUALS A 3" MULCH DEPTH) - UNLESS OTHERWISE NOTED. SEE PLANT MATERIALS LIST FOR SPECIFICATIONS. KEEP MULCH SIX INCHES (6") BACK FROM ALL TREE TRUNKS.
- SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED AT TIME OF INSTALLATION. ALL SOD SHALL BE FREE OF NUISANCE SPECIES, INVASIVE AND EXOTIC WEEDS OR THEIR SEED.
- THE LANDSCAPE CONTRACTOR SHALL CALL 811 OR WWW.CALL811.COM TO FIELD LOCATE EXISTING UTILITIES AND SECURE A PERMIT NUMBER PRIOR TO BEGINNING WORK. USE DUE CAUTION AROUND THE UTILITIES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ACTIVITIES WITH ALL OTHER CONTRACTORS ON THE JOB SITE.
- ALL LANDSCAPE MATERIALS INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED TO MEET STATE AND LOCAL CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING STRUCTURES AND VEGETATION ON SITE THAT IS TO REMAIN AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED BY HIS OPERATIONS.
- THE JOB SITE IS TO REMAIN ORGANIZED. EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- UPON COMPLETION OF ALL LANDSCAPE MATERIAL INSTALLATION, AN INSPECTION FOR ACCEPTANCE SHALL BE HELD. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT SEVEN (7) DAYS PRIOR TO THE COMPLETION DATE.

NOTE: SEE GENERAL NOTES TO DETERMINE IF ADDITIONAL SOIL AMENDMENTS ARE REQUIRED.



SHRUB & GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

PLANTING DIRECTIONS

- EXCAVATE PLANTING HOLE AND SET TREE IN PIT AS SPECIFIED.
- SET TOP-MOST ROOT IN THE ROOT BALL 2 INCHES (2") HIGHER THAN FINISH GRADE. PLUMB THE TREE SO THE TRUNK IS VERTICAL.
- BACKFILL AS DIRECTED BELOW.
- INSTALL 3" SOIL RING FOR HAND WATERING.
- PROVIDE 4" DIA. MULCH RING FOR TREES IN SOD AREAS.
- PRUNE DEAD AND DAMAGED BRANCHES IN KEEPING WITH GOOD HORTICULTURAL PRACTICES. RETAIN NATURAL FORM OF TREE. DO NOT CUT CENTRAL LEADER. PRUNE LIMBS ADJACENT TO WALKS AND CURBS TO PREVENT INJURY TO PEDESTRIANS AND BICYCLE RIDERS.

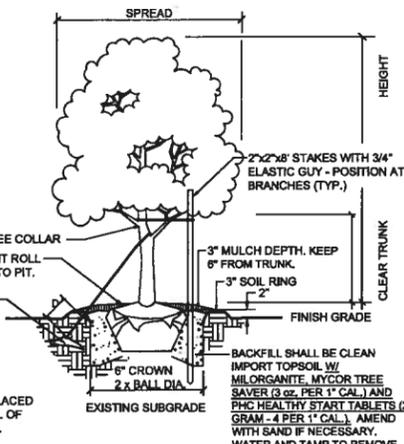
STAKING DIRECTIONS (TREES 0'-2' CAL.)

- ALL TREES TO BE STAKED UNLESS OTHERWISE NOTED IN GENERAL OR SPECIFIC NOTES.
- STAKE TREES ACCORDING TO CALIPER SIZE OR (UNLESS OTHERWISE SPECIFIED) 0-1" VERTICAL STAKE. TIE TRUNK TO STAKE WITH GREEN NURSERY TAPE, 1"-2" 2 VERTICAL STAKES. SECURE WITH GUY AS SHOWN.

DUCKBILL ANCHOR DIRECTIONS (TREES > 2' CAL.)

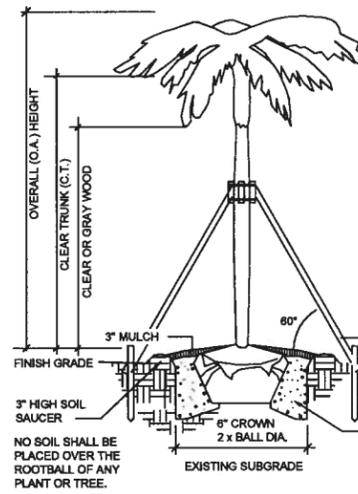
- 2"-3" CALIPER TREES: MODEL 40 DTS KIT D = 18-20"
- 3"-6" CALIPER TREES: MODEL 68 DTS KIT D = 2' - 2-1/2'
- 6"-10" CALIPER TREES: MODEL 88 DTS KIT D = 3' - 3-1/2'

NOTE: SEE NOTES TO DETERMINE IF ORGANIC OR OTHER UNLISTED SOIL AMENDMENTS ARE REQUIRED AND PLANT MATERIALS LIST FOR STAKING AND TREEWRAP REQUIREMENTS.



TREE PLANTING DETAIL

NOT TO SCALE



- IF BURLAP IS PRESENT ROLL TO 1/3 OF FABRIC INTO PIT.
- ROOTBALL SHALL BE INSTALLED 2" ABOVE ADJACENT FINISH GRADE AND PLUMB.
- FRONDS SHALL BE TIED UP FOR PROTECTION OF BUDS. LARGE DATE PALMS AND ALL FAN PALMS SHALL REMAIN TIED FOR 1 MONTH MINIMUM. PALMS WITH DAMAGED BUDS WILL NOT BE ACCEPTED.
- TRUNK SHALL BE FREE OF SCARS, BURNS, HOLES, ETC.
- ROOTBALL SHALL HAVE 16" MINIMUM RADIUS FROM TRUNK.
- INSTALL 4" DIAMETER MULCH RING AROUND ALL PALMS IN SOD AREAS.

- STAKING DIRECTIONS:**
- 2"x4"x8" BRACES 120" APART NAILED TO (3) 2"x4"x12" SEATS WIRE-BANDED OVER 5 LAYERS OF BURLAP WRAP (1) 2"x4"x30" STAKE EACH.

BACKFILL SHALL BE CLEAN IMPORT TOPSOIL AMENDED WITH MYCOR PALM SAVER AND SAND, IF REQUIRED, FOR DRAINAGE. WATER AND TAMP TO REMOVE AIR POCKETS

PALM PLANTING DETAIL

NOT TO SCALE

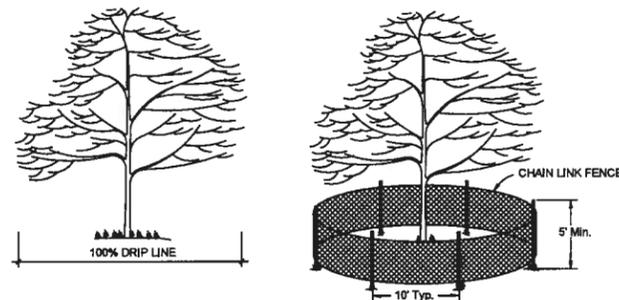


DIAGRAM "A" N.T.S.

DIAGRAM "B" N.T.S.

NOTES:

- PROTECTIVE BARRICADES TO PROTECT 100% OF CANOPY UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL MAINTAIN THE BARRIERS UNTIL ALL PAVING, CONSTRUCTION AND HEAVY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP LINE, EXCESS FOOT AND ALL VEHICULAR TRAFFIC INCLUDING PARKING.
- TREE BARRICADES TO BE CONSTRUCTED OF CHAIN LINK FENCE (NEW OR USED) UNLESS OTHERWISE SPECIFIED.
- NO DEBRIS, FILL MATERIALS OR CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN CONFINES OF BARRIER.
- PROTECT DESIGNATED TREES SCHEDULED TO REMAIN AGAINST: UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OF BARK, STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP LINE, EXCESS FOOT AND ALL VEHICULAR TRAFFIC INCLUDING PARKING.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR VIGOR.
- WHEN NECESSARY TO CUT ROOT OVER 1" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN, PERPENDICULAR CUT. COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.

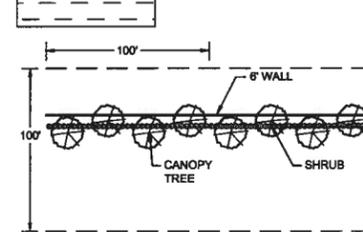
TREE PROTECTION DETAIL

NOT TO SCALE

TYPICAL BUFFER TYPES & REQUIREMENTS

NOTE: EXISTING WETLANDS, WETLAND BUFFERS, UPLAND PRESERVATION AREAS, AND EXISTING VEGETATION TO REMAIN LOCATED WITHIN REQUIRED BUFFERS SHALL BE USED TO MEET PERIMETER BUFFER REQUIREMENTS.

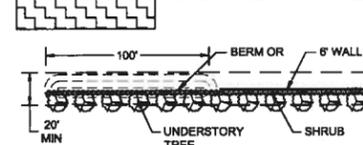
BUFFER TYPE 'A'



- AS PER SECTION 715.3.2, ROADWAY BUFFERS & SECTION 737.4 ENTRANCEWAYS SHALL MEET THE FOLLOWING CRITERIA:
- MINIMUM WIDTH OF 20.0' ALONG ALL ARTERIAL AND COLLECTOR FRONTAGES INCLUDING HIGHWAYS AND INTERSTATES
 - 75% OF PLANT MATERIAL SHALL BE NATIVE SPECIES
 - CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
 - CANOPY TREES - MIN. FOUR 2.5" CAL., 10' HT & 4" SPR
 - SHRUBS - MIN. 33 SHRUBS
 - 80% OPACITY MAINTAINED AT 5.0' HEIGHT

I-75 ROADWAY BUFFER

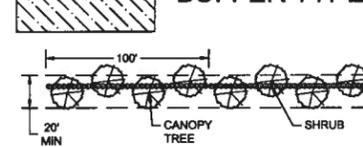
BUFFER TYPE 'B'



- AS PER SECTION 715.3.2, ROADWAY BUFFERS & SECTION 737.4 ENTRANCEWAYS SHALL MEET THE FOLLOWING CRITERIA:
- MINIMUM WIDTH OF 20.0' ALONG ALL ARTERIAL AND COLLECTOR FRONTAGES INCLUDING HIGHWAYS AND INTERSTATES
 - 75% OF PLANT MATERIAL SHALL BE NATIVE SPECIES
 - CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
 - UNDER STORY TREES - MIN. SIX 1.5" CAL., 8' HT
 - SHRUBS - MIN. 33 SHRUBS
 - 80% OPACITY MAINTAINED AT 5.0' HEIGHT

MENDOZA ROADWAY BUFFER (OVERHEAD UTILITIES)

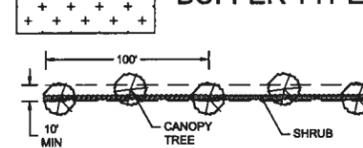
BUFFER TYPE 'C'



- AS PER SECTION 715.3.2, ROADWAY BUFFERS & SECTION 737.4 ENTRANCEWAYS SHALL MEET THE FOLLOWING CRITERIA:
- MINIMUM WIDTH OF 20.0' ALONG ALL ARTERIAL AND COLLECTOR FRONTAGES INCLUDING HIGHWAYS AND INTERSTATES
 - 75% OF PLANT MATERIAL SHALL BE NATIVE SPECIES
 - CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
 - CANOPY TREES - MIN. FOUR 2.5" CAL., 10' HT & 4" SPR
 - SHRUBS - MIN. 33 SHRUBS
 - 80% OPACITY MAINTAINED AT 5.0' HEIGHT

49TH AVENUE EAST ROADWAY BUFFER

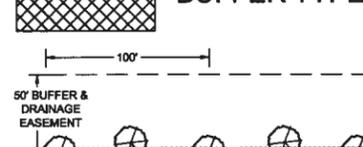
BUFFER TYPE 'D'



- AS PER SECTION 715.3.2, PERIMETER SCREENING BUFFERS SHALL MEET THE FOLLOWING CRITERIA:
- MINIMUM WIDTH OF 10.0' WIDTH
 - 75% OF PLANT MATERIAL SHALL BE NATIVE SPECIES
 - CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
 - CANOPY TREES - MIN. TWO AND ONE-HALF 2.5" CAL., 10' HT & 4" SPR
 - 33 SHRUBS
 - OR OTHER OPTION PER LDC FIGURE 715.C

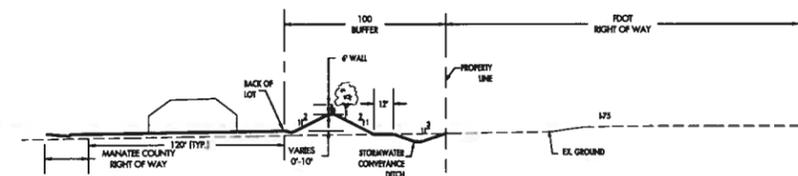
FPL EASEMENT BUFFER (OPEN SPACE)

BUFFER TYPE 'E'



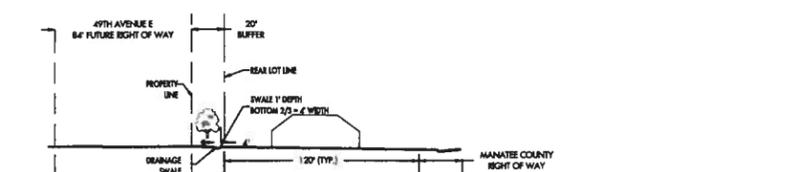
- AS PER SECTION 715.3.2, PERIMETER SCREENING BUFFERS SHALL MEET THE FOLLOWING CRITERIA:
- MINIMUM WIDTH OF 10.0' WIDTH
 - 75% OF PLANT MATERIAL SHALL BE NATIVE SPECIES
 - CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
 - CANOPY TREES - MIN. TWO AND ONE-HALF 2.5" CAL., 10' HT & 4" SPR
 - 33 SHRUBS
 - OR OTHER OPTION PER LDC FIGURE 715.C

RAILWAY BUFFER & DRAINAGE EASEMENT



I-75 BUFFER - TYPICAL SECTION

BERM HEIGHT TO VARY TO PRESERVE EXISTING VEGETATION



49TH AVENUE EAST - SECTION

MATTHEW J. KROGT
PROFESSIONAL ENGINEER
REG# 7

ZNS ENGINEERING
ENGINEERS | PLANNERS | SURVEYORS
LANDSCAPE ARCHITECTS
301 SW AVEENUE EAST, SUITE 100
MARIETTA, GA 30060 | (770) 428-3311

REVISIONS
2014.01.15 KLB
2015.03.05 KLB
2015.03.25 KLB
1 ESE SUBMITTAL
2 RESPOND TO IAC COMMENTS
3 REVISE BUFFER TYP. AND SECTIONS
4
5
6
7

PRELIMINARY SITE PLAN - PLANTING NOTES & DETAILS
FOR:
WILLOW HAMMOCK
LOCATED IN:
SECTION 4 & 33, TOWNSHIP 33 & 34 SOUTH, RANGE 18 EAST
MANATEE COUNTY, FLORIDA

DATE: 5/17/15
JOB NO.:
SCALE:
SHEET: 1507

From: Jason Utley
To: ["groth@bohlereng.com"](mailto:groth@bohlereng.com)
Cc: [Nelson Galeano](#); [Steve Kollar](#); [Susan Barfield](#); [Mark Mayer](#); [Rossina Leider](#)
Subject: SR 70 & 66th Street East Rezone - Traffic Impact Statement Approval Letter
Date: Monday, March 23, 2015 12:13:00 PM
Attachments: [2015-03-13 SR70 & 66th Street E TIS AJ15022tis.pdf](#)

RE: SR 70 & 66th Street East Rezone - Traffic Impact Statement Approval Letter
Petition # Z-14-05/MEPS-360/DTS#20140473
Consultant: Bohler Engineering

Dear Mr. Roth,

Manatee County Transportation Planning Division staff have reviewed and approved the Traffic Impact Statement (TIS), dated March 13, 2015, to rezone a 2.76 +/- acre parcel of land from Agricultural (A) to Commercial General (CG). The TIS was prepared by Atlantic Traffic & Design Engineers, Inc. Based on the data provided in this document the Applicant has addressed the Comprehensive Plan requirements, and provided appropriate traffic-related information to substantiate the findings.

Please note that concurrency has not been granted as a part of this approval letter and prior to preparation of a Traffic Impact Analysis (TIA) for the subject project at the Preliminary Site Plan (PSP) or Final Site Plan (FSP) stage, the Applicant will need to coordinate with Manatee County Transportation Planning staff for an updated methodology.

If you have any questions or require further assistance, please contact Clarke Davis (941.708.7450 x7272, clarke.davis@mymanatee.org) or me at the number below.

Thanks,

Jason Utley, AICP
Transportation Systems Modeler
Manatee County Government
941.708.7478
jason.utley@mymanatee.org
1022 26th Avenue East
Bradenton, FL 34208



**ATLANTIC TRAFFIC
& DESIGN ENGINEERS, INC.**

35 Technology Drive
Warren, New Jersey 07059
908.769.5588
fax 908.769.7733
atde@atlanticttraffic.com

**TRAFFIC IMPACT STATEMENT
FOR
BLACKROCK DEVELOPMENT HOLDINGS**

**PROJECT NO. Z-14-05/MEPS-360
DTS NO. 20140473**

**PROPOSED REZONING
SR 70 & 66TH STREET
MANATEE COUNTY, FLORIDA**



**JOHN R. HARTER, P.E.
FL License No. 78212**



**COREY M. CHASE, P.E.
PROJECT MANAGER**

DATE: March 13, 2015

K:\2015\AJ15022\Reports\AJ15022tis.doc\CC/jm

Other Office Location:
2929 Expressway Drive North, Hauppauge, NY 11749
631.738.1919

TRAFFIC & TRANSPORTATION ENGINEERING, SITE PLANNING & ROADWAY DESIGN CONSULTANTS
www.atlanticttraffic.com

INTRODUCTION

Atlantic Traffic & Design Engineers, Inc. (ATDE) has prepared this Traffic Impact Statement to examine the rezoning of an approximately 2.76 acre parcel located on the northwest corner of the SR 70 intersection with 66th Street East in Manatee County. The subject property is currently zoned Agricultural (A). As the parcel is proposed to be developed with a commercial use, the applicant has requested a rezone from Agricultural (A) to Commercial General (CG).

The site is located on the northwest corner of the unsignalized SR 70 intersection with 66th Street East and is currently undeveloped, as shown on **Figure 1** in the Appendix. A variety of commercial uses are located to the east of the subject property along SR 70 and the Manatee Technical Institute is located to the west of the property. Along the site frontage, SR 70 provides three lanes to accommodate each direction of travel and is separated by a grass median.

This Traffic Impact Statement has been prepared to compare the projected traffic generation of the allowable land uses of the existing property zoning and the proposed zoning/FLUC. The proposed zoning/FLUC anticipates the development of 11,000 square feet of retail space and a 3,000 square foot fast-food restaurant with drive-thru at this time.

EXISTING CONCURRENCY REGULATED ROADWAY SEGMENT DATA

The subject property is located along westbound SR 70 (from 66th Street East to 63rd Street East) and southbound 66th Street East (from SR 70 to 52nd Avenue East). Information for the adjacent roadways has been obtained from the 2012 Florida Department of Transportation (FDOT) Quality/Level of Service Handbook Tables and the most current Manatee County Concurrency Transportation Link sheet located in the Appendix. **Table I** summarizes the existing conditions of the concurrency regulated SR 70 roadway segment. As 66th Street East is not a concurrency regulated roadway, it was not given further consideration in this Traffic Impact Statement. Note, the existing roadway segment is functioning at or above the Level of Service Standard for the roadway segment.

**TABLE I
EXISTING ROADWAY LINK INFORMATION**

Link	Street	From	To	Existing Traffic Volume	Vested Traffic Volume	Peak Hour Total	Cross Section	Peak Hour Two-Way LOS Standard Service Volume	5% Peak Hour Two-Way LOS Standard Service Volume
3111	SR 70	66 th Street	63 rd Street East	3,886	1,376	5,262	6D	5,660*	283
LOS Standard				D				Existing LOS	C

*5% adjustment included for right-turn lane

FUTURE LAND USE CATEGORY

The subject property is currently zoned Agricultural (A). Given the nature of the intended uses for this FLUC which include farming establishments, limited trip generation can be expected. Therefore, in efforts to perform a conservative analysis, no allowable development was assumed for the subject property.

The proposed zoning for the subject property is Commercial General (CG) and the anticipated uses at this time include 11,000 square feet of retail space and a 3,000 square foot fast-food restaurant with drive-thru. The maximum FAR for the proposed zoning without special approval is 0.25. Therefore in efforts to perform a maximum of maximums analysis for the proposed zoning, 30,000 square feet of retail space was considered.

TRIP GENERATION

Trip generation projections were prepared based on data published by the Institute of Transportation Engineers (ITE) in the 9th Edition of *Trip Generation*. Specifically, ITE Land Use Code 820: “Shopping Center” was utilized for the retail space and ITE Land Use Code 934: “Fast-Food Restaurant with Drive-Thru” was utilized for the fast-food restaurant with drive-thru. The ITE trip generation summaries are provided in the Appendix. **Table II** compares the total weekday evening peak hour trip generation for each of the proposed land uses with the maximum square footage allowable considered under the rezoning.

**TABLE II
ITE TRIP GENERATION
WEEKDAY EVENING PEAK HOUR**

ITE LUC	Land Use	Estimated Gross Floor Area	Total PM Peak Hour Trips
820	Shopping Center	11,000 SF	137
934	Fast-Food Restaurant with Drive-Thru	3,000 SF	98
Total Anticipated Rezoning Trip Generation			235

As can be seen in **Table II**, the proposed rezoning of the subject property is calculated to generate a maximum of 235 trips during the evening peak hour with consideration of the anticipated development.

Table III summarizes the weekday evening peak hour trip generation for the maximum of maximums analysis of the proposed zoning utilizing 30,000 square feet of retail space.

**TABLE III
ITE TRIP GENERATION
WEEKDAY EVENING PEAK HOUR**

ITE LUC	Land Use	Estimated Gross Floor Area	Total PM Peak Hour Trips
820	Shopping Center	30,000 SF	267

TRIP ASSIGNMENT

No access is currently provided to the subject property as it is undeveloped. Under the proposed conditions, this analysis assumes ingress and egress would be provided to the development along both of the property frontages. The trip assignment for the proposed daily traffic volumes has been assumed to be 100% oriented to SR 70. **Table IV** summarizes the evening peak hour trips for the proposed development on each of the adjacent concurrency regulated roadway.

**TABLE IV
PROPOSED TRIP DISTRIBUTION TO ROADWAY SEGMENTS
EVENING PEAK HOUR**

Link	Street	From	To	Cross Section	Number of Total Trips (% distribution)	5% Peak Hour Two-Way LOS Standard Service Volume
3111	SR 70	66 th Street East	63 rd Street East	6D	267 (100%)	283

ANALYSIS

The proposed FLUC change is projected to generate an increase in evening peak hour trips oriented to the roadway segments is not expected to exceed 5% of the two-way LOS standard service volume for either roadway segment. **Table V** summarizes the existing and proposed evening peak hour traffic volumes for the SR 70 roadway segment and provides a comparison to the proposed peak hour service volume. As previously noted, 66th Street East is not a regulated roadway, and therefore it is assumed the future land use change would have minimal impact on the roadway.

**TABLE V
LAND USE COMPARISON
EVENING PEAK HOUR**

Zoning Designation	Peak Hour Total	Site Generated Trips	Total Trips	LOS Standard Service Volume	Available Capacity
Agricultural (A)	5,262	0	5,262	5,660	398
Commercial General (CG)	5,262	267	5,529	5,660	131

It should be noted no passerby trip credits were applied to the projected trips generated by the retail space.

CONCLUSIONS

In summary, the proposed change in FLUC for Agricultural (A) to Commercial General (CG) is not expected to have any negative traffic related impacts on the SR 70 roadway segments adjacent to the subject property. This Traffic Impact Statement has been prepared for the purposes of rezoning only, and it is understood by the applicant that a more detailed Traffic Impact Statement or Traffic Impact Analysis may be required as part of the Site Plan submission.

TECHNICAL APPENDIX

**Generalized Peak Hour Two-Way Volumes for Florida's
Urbanized Areas¹**

TABLE 4

12/18/12

INTERRUPTED FLOW FACILITIES					UNINTERRUPTED FLOW FACILITIES					
STATE SIGNALIZED ARTERIALS					FREEWAYS					
Class I (40 mph or higher posted speed limit)					Lanes	B	C	D	E	
Lanes	Median	B	C	D	E	4	4,120	5,540	6,700	7,190
2	Undivided	*	1,510	1,600	**	6	6,130	8,370	10,060	11,100
4	Divided	*	3,420	3,580	**	8	8,230	11,100	13,390	15,010
6	Divided	*	5,250	5,390	**	10	10,330	14,040	16,840	18,930
8	Divided	*	7,090	7,210	**	12	14,450	18,880	22,030	22,860
Class II (35 mph or slower posted speed limit)					Freeway Adjustments					
Lanes	Median	B	C	D	E	Auxiliary Lanes Present in Both Directions + 1,800		Ramp Metering + 5%		
2	Undivided	*	660	1,330	1,410					
4	Divided	*	1,310	2,920	3,040					
6	Divided	*	2,090	4,500	4,590					
8	Divided	*	2,880	6,060	6,130					
Non-State Signalized Roadway Adjustments (Alter corresponding state volumes by the indicated percent.) Non-State Signalized Roadways - 10%					UNINTERRUPTED FLOW HIGHWAYS					
Median & Turn Lane Adjustments					Lanes	Median	B	C	D	E
Lanes	Median	Exclusive Left Lanes	Exclusive Right Lanes	Adjustment Factors	2	Undivided	770	1,530	2,170	2,990
2	Divided	Yes	No	+5%	4	Divided	3,300	4,660	5,900	6,530
2	Undivided	No	No	-20%	6	Divided	4,950	6,990	8,840	9,790
Multi	Undivided	Yes	No	-5%						
Multi	Undivided	No	No	-25%						
-	-	-	Yes	+ 5%						
One-Way Facility Adjustment Multiply the corresponding two-directional volumes in this table by 0.6					Uninterrupted Flow Highway Adjustments					
					Lanes	Median	Exclusive left lanes	Adjustment factors		
					2	Divided	Yes	+5%		
					Multi	Undivided	Yes	-5%		
					Multi	Undivided	No	-25%		
BICYCLE MODE² (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)					¹ Values shown are presented as peak hour two-way volumes for levels of service and are for the automobile/truck modes unless specifically stated. This table does not constitute a standard and should be used only for general planning applications. The computer models from which this table is derived should be used for more specific planning applications. The table and deriving computer models should not be used for corridor or intersection design, where more refined techniques exist. Calculations are based on planning applications of the Highway Capacity Manual and the Transit Capacity and Quality of Service Manual.					
Paved Shoulder/Bicycle					² Level of service for the bicycle and pedestrian modes in this table is based on number of motorized vehicles, not number of bicyclists or pedestrians using the facility.					
Lane Coverage	B	C	D	E	³ Buses per hour shown are only for the peak hour in the single direction of the higher traffic flow.					
0-49%	*	260	680	1,770	* Cannot be achieved using table input value defaults.					
50-84%	190	600	1,770	>1,770	** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached. For the bicycle mode, the level of service letter grade (including F) is not achievable because there is no maximum vehicle volume threshold using table input value defaults.					
85-100%	830	1,770	>1,770	**						
PEDESTRIAN MODE² (Multiply motorized vehicle volumes shown below by number of directional roadway lanes to determine two-way maximum service volumes.)										
Sidewalk Coverage	B	C	D	E						
0-49%	*	*	250	850						
50-84%	*	150	780	1,420						
85-100%	340	960	1,560	>1,770						
BUS MODE (Scheduled Fixed Route)³ (Buses in peak hour in peak direction)										
Sidewalk Coverage	B	C	D	E						
0-84%	> 5	≥ 4	≥ 3	≥ 2						
85-100%	> 4	≥ 3	≥ 2	≥ 1						
					Source: Florida Department of Transportation Systems Planning Office www.dot.state.fl.us/planning/systems/sm/los/default.shtm					

Manatee County Planning Department Concurrency Transportation Link Sheet

Report run on: February 2, 2015 5:57 PM

Link No	Road Name	From Street	To Street	Jrs Dtn	Fnc Cls	U T R	(#1) Crs Sec	Sig/ Mile	Nu m Sig	Cl ass Gr p	Le ft Tu rms	5% Peak Hour Vol	Los Std	Exis ted Los	Proje cted Plan LOS	Art Plan LOS	Trf Cnt Yr	Exist AADT	K100	O C S	Peak Hour Base	Peak Hour Res	Peak Hour Pend	Peak Hour Total	(#2) Peak Hr LOS Vol	Avail Peak Hour Cap	3 Yr Growth Rate	Cn Yr	Con Typ	De Im Rs	Stn Num
3105	SR 70	LOCKWOOD RIDGE	NATALIE WAY	ST	PA	U	6D	1.32	1	I	Y	269.5	D	C	F	12	46500	0.090		4,185	1,280	196	5,661	5,390	-271	0.000				0061	
3110	SR 70	NATALIE WAY	CARUSO RD	ST	PA	U	6D	1.96	1	I	Y	269.5	D	C	F	12	46500	0.090	O	4,185	1,382	118	5,685	5,390	-295	0.000			0	0061	
3111	SR 70	CARUSO RD	TARA BLVD	ST	PA	U	6D	1.00	1	I	Y	269.5	D	C	D	12	43177	0.090		3,886	1,376	120	5,382	5,390	8	0.000				0333	
3112	SR 70	TARA BLVD	I-75	ST	PA	U	6D	2.17	1	II	Y	269.5	D	C	F	12	43177	0.090		3,886	1,773	140	5,799	5,390	-409	0.000				0333	
3120	SR 70	I-75	87TH ST E	ST	PA	U	6D	2.50	1	II	Y	262.5	C	C	F	12	34500	0.090	O	3,105	2,697	437	6,239	5,250	-989	0.000			0	0048	
3121	SR 70	87TH ST E	BRADEN RUN	ST	PA	U	6D	2.78	1	II	Y	262.5	C	C	F	12	34500	0.090		3,105	2,456	74	5,635	5,250	-385	0.000				0048	
3122	SR 70	BRADEN RUN	RIVER CLUB BLVD	ST	PA	U	6D	0.49	1	I	Y	262.5	C	C	C	12	34500	0.090	0	3,105	778	214	4,097	5,250	1,153	0.000			0	0048	
3123	SR 70	RIVER CLUB BLVD	LAKWOOD RANCH BLVD	ST	PA	U	6D	1.45	1	I	Y	262.5	C	C	F	12	34500	0.090		3,105	2,474	0	5,579	5,250	-329	0.000				0048	
3124	SR 70	LAKWOOD RANCH BL	LORRAINE RD	ST	PA	U	6D	2.27	1	II	Y	262.5	C	C	C	12	21500	0.090		1,935	2,615	0	4,550	5,250	700	0.000				5083	
3130	SR 70	LORRAINE RD	CR 675	ST	PA	T	2U	0.00	0		Y	43	B	C	C	12	11400	0.090	O	1,026	117	342	1,485	860	-625	0.000			0	5082	
3140	SR 70	CR 675	DESOTO CO	ST	PA	R	2U	0.00	0		Y	22	B	C	C	12	6300	0.095	0	599	69	8	676	440	-236	0.000			0	0030	
3150	SUGAR BOWL RD	SR 70	SARASOTA CO LINE	MC	MIC	R	2U	0.00	0	55	N	39.5	C	B	B	12	326	0.095	O	31	0	0	31	790	759	0.000			0	12-03	
3160	TALLEVAST RD	US 41	301 BLVD	MC	UC	U	2U	0.00	0	US	Y	72	D	C	C	12	8602	0.090	S	774	98	0	872	1,440	568	0.000			0	06-44	
3170	TALLEVAST RD	301 BLVD	US 301	MC	UC	U	2U	1.05	1		Y	59.5	D	C	D	12	6335	0.090	O	570	514	0	1,084	1,190	106	0.000			0	07-03	
3180	TALLEVAST RD	US 301	LOCKWOOD RIDGE RD	MC	UC	U	4D	0.00	0	US	Y	161	D	C	C	12	7858	0.090	O	707	378	27	1,112	3,220	2,108	0.000			0	07-21	
5070	TARA BLVD	SR 70	STONE RIVER RD	MC	UC	U	4D	0.00	0	US	Y	131	D	C	D	12	8290	0.090		746	474	0	1,220	2,620	1,400	0.000				07-61	
5071	TARA BLVD	STONE RIVER RD	TARA PRESERVE LANE	MC	UC	U	4D	0.00		US	N	131	D	C	C	12	7316	0.090		658	232	0	890	2,620	1,730	0.000				07-62	
5072	TARA BLVD	TARA PRESERVE LN	LINGER LODGE RD	MC	UC	U	2U	0.00			Y	63		C	C	12	2025	0.090		182	0	0	182	1,260	1,078	0.000				07-46	
3190	TARPON RD	SNEAD ISLAND RD	EMERSON POINT RD	MC	UC	U	2U	0.00	0	US	N	59.5	D	C	C	12	2485	0.090	C	224	0	0	224	1,190	966	0.000			0	09-14	
6010	TAYLOR GRADE RD	BUNKER HILL RD	HILLSBOROUGH CO	MC	MIC	R	2U	0.00	0	55	N	39.5	C	B	B	12	294	0.095		28	0	0	28	790	762	0.000			0	12-13	

Trip Generation Summary - Phase 1
Average Weekday Driveway Volumes

Project: AJ15022
Alternative: Alternative 1

Open Date: 2/16/2015
Analysis 2/16/2015

ITE	Land Use	Average Daily Trips			AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
820	CENTERSHOPPING 1							66	71	137
	11 Gross Leasable Area 1000 SF									
934	FASTFOODDT 1							51	47	98
	3 Gross Floor Area 1000 SF									
Unadjusted Driveway Volume		0	0	0	0	0	0	117	118	235
Unadjusted Pass-By Trips		0	0	0	0	0	0	48	48	96
Internal Capture Trips		0	0	0	0	0	0	34	34	68
Adjusted Driveway Volume		0	0	0	0	0	0	83	84	167
Adjusted Pass-By Trips		0	0	0	0	0	0	34	34	68
Adjusted Volume Added to Adjacent Streets		0	0	0	0	0	0	49	50	99

Total AM Peak Hour Internal Capture = 0 Percent

Total PM Peak Hour Internal Capture = 29 Percent

Trip Generation Summary - Phase 2
Average Weekday Driveway Volumes

Project: AJ15022
Alternative: Alternative 1

Open Date: 2/16/2015
Analysis 2/16/2015

ITE	Land Use	Average Daily Trips			AM Peak Hour Adjacent Street Traffic			PM Peak Hour Adjacent Street Traffic		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
820	CENTERSHOPPING 2							128	139	267
	30 Gross Leasable Area 1000 SF									
Unadjusted Driveway Volume		0	0	0	0	0	0	128	139	267
Unadjusted Pass-By Trips		0	0	0	0	0	0	44	47	91
Internal Capture Trips		0	0	0	0	0	0	0	0	0
Adjusted Driveway Volume		0	0	0	0	0	0	128	139	267
Adjusted Pass-By Trips		0	0	0	0	0	0	44	47	91
Adjusted Volume Added to Adjacent Streets		0	0	0	0	0	0	84	92	176

Total AM Peak Hour Internal Capture = 0 Percent

Total PM Peak Hour Internal Capture = 0 Percent