



[www.mymanatee.org](http://www.mymanatee.org)

---

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

February 12, 2015 Planning Commission Agenda

MEETING CALLED TO ORDER (William Conerly, Chairman)

PLEDGE OF ALLEGIANCE

ANNOUNCEMENTS

Minutes for Approval

1. January 15, 2015 Minutes for Approval

CITIZEN COMMENTS

CONSENT AGENDA

Building and Development Services Department

2. Ordinance 14-45-Robinson Gateway DRI#29-Quasi-Judicial-Stephanie Moreland (TO BE CONTINUED TO MARCH 12, 2015)
3. PDMU-13-01(Z)(G)-DTS20130029-Robinson Land Holdings, Joint Venture/Robinson Gateway-Quasi-Judicial-Stephanie Moreland (TO BE CONTINUED TO MARCH 12, 2015)
4. PDR-14-24(P)-Heron Creek, Phase II-DTS#20140382-Quasi-Judicial-Shelley Hamilton \* Schenk

Attachment: Map FLU-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf

Attachment: Map Zoning-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf

Attachment: Map Aerial1-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf

Attachment: Map Aerial 2-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf

Attachment: Staff Report-PDR-14-24(P)-Heron Creek, Phase II-0212-15.pdf

Attachment: Affidavit of Ownership-Heron Creek, Phase II-02-12-15 PC.pdf

Attachment: Traffic Impact Statement-Heron Creek, Phase II-PDR-14-24(P)-02-12-15PC.pdf

Attachment: Copy of Newspaper Advertising - Heron Creek Phase II - PDR-14-24(P) - Bradenton Herald.pdf  
Attachment: Copy of Newspaper Advertising -Heron Creek Phase II - PDR-14-24(P) - Sarasota Herald Tribune.pdf  
Attachment: Preliminary Site Plan-Heron Creek, Phase II-PDR-14-24(P)-02-12-15PC.pdf

5. PDC-14-23(Z)(P)-DTS20140302-University Parkway Shoot Straight-Quasi-Judicial-Shelley Hamilton \* Schenk

Attachment: Map FLU-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf  
Attachment: Map Zoning-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15 PC.pdf  
Attachment: Map Aerial 1-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf  
Attachment: Map Aerial 2-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf  
Attachment: Staff Report-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf  
Attachment: Affidavit of Ownership-University Parkway Shoot Straight-02-12-15PC.pdf  
Attachment: Traffic Impact Statement-Shoot Straight-02-12-15PC.pdf  
Attachment: Copy of Newspaper Advertising - University Parkway Shoot Straight - PDC-14-23(Z)(P)- Bradenton Herald.pdf  
Attachment: Copy of Newspaper Advertising -University Parkway Shoot Straight - PDC-14-23(Z)(P) - Sarasota Herald Tribune.pdf  
Attachment: Preliminary Site Plan-University Parkway Shoot Straight-02-12-15PC.pdf

6. PDC-14-27(Z)(P)-DTS20140444-Aldi, Inc.-ALDI-Bradenton-Quasi-Judicial-Rossina Leider \* Schenk

Attachment: Map FLU-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf  
Attachment: Map Zoning-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf  
Attachment: Map Aerial 1-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf  
Attachment: Map Aerial 2-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf  
Attachment: Staff Report-PDC-14-27(Z)(P)ALDI-Bradenton-02-12-15 PC.pdf  
Attachment: Zoning Disclosure Affidavit-PDC-14-27(Z)(P)-ALDI-02-12-15PC.pdf  
Attachment: Specific Approval letter request-02-12-15 PC.pdf  
Attachment: Traffic Impact Analysis-Aldi-Bradenton PDC-14-27(Z)(P)-02-12-15PC.pdf  
Attachment: Address Plan-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf  
Attachment: Copy of Newspaper Advertising - Aldi - Bradenotn - PDC-14-27(Z)(P)- Bradenton Herald.pdf  
Attachment: Copy of Newspaper Advertising - Aldi - Bradenton - PDC-14-27(Z)(P) - Sarasota Herald Tribune.pdf  
Attachment: Preliminary Site Plan-Aldi-Bradenton PDC-14-27(Z)(P).pdf

REGULAR

ADJOURN

The Planning Commission of Manatee County, Florida, does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Commission's functions including one's access to, participation in, employment with, or treatment in, its programs or activities. Anyone requiring reasonable accommodation for this meeting as provided for in the Americans with Disabilities Act, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802, wait 60 seconds; FAX 745-3790.

February 12, 2015 Planning Commission Agenda  
Agenda Item #1

Subject

January 15, 2015 Minutes for Approval

Briefings

None

Contact and/or Presenter Information

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

N/A

Enabling/Regulating Authority

N/A

Background Discussion

N/A

County Attorney Review

Not Reviewed (No apparent legal issues)

Explanation of Other

Reviewing Attorney

N/A

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

February 12, 2015 Planning Commission Agenda  
Agenda Item #2

Subject

Ordinance 14-45-Robinson Gateway DRI#29-Quasi-Judicial-Stephanie Moreland (TO BE CONTINUED TO MARCH 12, 2015)

Briefings

None

Contact and/or Presenter Information

Contact and Presenter:

Stephanie Moreland

Principal Planner

941 748 4501 ext. 3880

Contact:

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

I move to continue the Public Hearing for Ordinance 14-45 to March 12, 2015 Planning Commission Agenda at 9:00 a.m. or as soon thereafter as same may be heard

Enabling/Regulating Authority

N/A

Background Discussion

N/A

County Attorney Review

Not Reviewed (Utilizes exact document or procedure approved within the last 18 months)

Explanation of Other

Reviewing Attorney

N/A

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

February 12, 2015 Planning Commission Agenda  
Agenda Item #3

Subject

PDMU-13-01(Z)(G)-DTS20130029-Robinson Land Holdings, Joint Venture/Robinson Gateway-Quasi-Judicial-Stephanie Moreland (TO BE CONTINUED TO MARCH 12, 2015)

Briefings

None

Contact and/or Presenter Information

Contact and Presenter:

Stephanie Moreland

Principal Planner

941 748 4501 ext. 3880

Contact:

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

N/A

Enabling/Regulating Authority

N/A

Background Discussion

N/A

County Attorney Review

Not Reviewed (Utilizes exact document or procedure approved within the last 18 months)

Explanation of Other

Reviewing Attorney

N/A

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

February 12, 2015 Planning Commission Agenda  
Agenda Item #4

Subject

PDR-14-24(P)-Heron Creek, Phase II-DTS#20140382-Quasi-Judicial-Shelley Hamilton

Briefings

None

Contact and/or Presenter Information

Contact and Presenter:

Shelley Hamilton

Principal Planner

941 748 4501 ext. 6863

Contact:

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

RECOMMENDED MOTION:

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be CONSISTENT with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend ADOPTION of Manatee County Zoning Ordinance No. PDR-14-25(P); APPROVAL of the Preliminary Site Plan with Stipulations #A-1, #B-1, #C-1 through C-3, #D-1 through D-7, #E-1 through E-6, and #F-1; GRANTING Special Approval for 1) a project in the RES-6 Future Land Use Category for adjacency to a perennial stream, and 2) a project within an Entranceway; as recommended by staff.

Enabling/Regulating Authority

Manatee County Comprehensive Plan

Manatee County Land Development Code

Background Discussion

- The applicants have filed this application to adopt a new Preliminary Site Plan (PSP) for Heron Creek, Phase II. The proposal will allow the total of 45 lots over what is currently approved) on 17.70 + acres located west of Ellen-Gillette Road.
- The property is currently zoned PDR (Planned Development Residential), and was rezoned in 1989, in conjunction with the property east of Ellenton-Gillette Road (Heron Creek, Phase I), to allow 131 lots at a density of 2.86 dwelling units per acre. In 2006, the approval was amended to add 3.7 + acres of property and to amend the Preliminary Site Plan to allow 125 lots at a density of 2.54 dwelling units per acre gross and 2.65 dwelling units per acre net. Again, this action in 2006 was in conjunction with the property east of Ellenton-Gillette Road and was proposed as a two phase development to be known as Heron Creek, Phases I and II. Phase I of Heron Creek, east of Ellenton-Gillette Road, is currently underway with the development of 90 single family units.
- This amendment to the existing PSP will result in a gross density of 2.54 dwelling units per acre and a net density of 2.62 dwelling units per acre.
- The total open space calculation proposed is 37.5% (6.63 + acres).
- Special Approvals are needed to allow:
  - 1) Adjacency to a perennial lake or stream; and
  - 2) Adjacency to an "entranceway."
- The site is in Flood Zones "X," and "AE."
- Water and Sanitary Sewer will be provided; and
- Staff recommends approval with stipulations.

County Attorney Review

Other (Requires explanation in field below)

Explanation of Other

Sarah Schenk revised and responded by email on January 14, 2015

Reviewing Attorney

Schenk

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

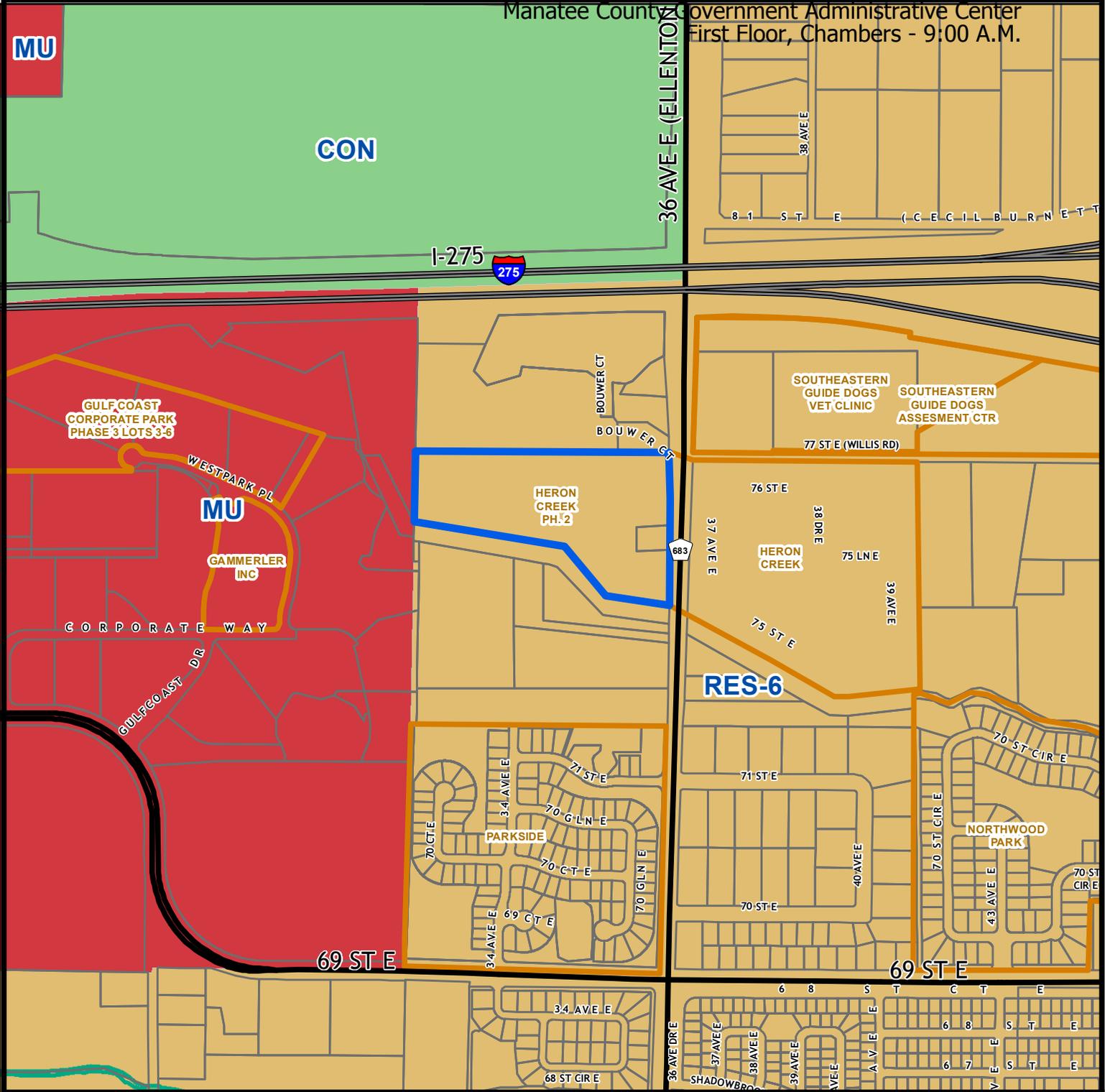
- Attachment: Map FLU-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf
- Attachment: Map Zoning-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf
- Attachment: Map Aerial1-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf
- Attachment: Map Aerial 2-PDR-14-24(P)-HeronCreek Ph. 2-02-12-15 PC.pdf
- Attachment: Staff Report-PDR-14-24(P)-Heron Creek, Phase II-0212-15.pdf

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

- Attachment: Affidavit of Ownership-Heron Creek, Phase II-02-12-15 PC.pdf
- Attachment: Traffic Impact Statement-Heron Creek, Phase II-PDR-14-24(P)-02-12-15PC.pdf
- Attachment: Copy of Newspaper Advertising - Heron Creek Phase II - PDR-14-24(P) - Bradenton Herald.pdf
- Attachment: Copy of Newspaper Advertising -Heron Creek Phase II - PDR-14-24(P) - Sarasota Herald  
Tribune.pdf
- Attachment: Preliminary Site Plan-Heron Creek, Phase II-PDR-14-24(P)-02-12-15PC.pdf

# FUTURE LAND USE

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 669800005

Project Name: Heron Creek Ph. 2  
 Project #: PDR-14-24 (P)  
 DTS#: 20140382  
 Proposed Use: Residential

S/T/R: S29 T33 R18  
 Acreage: 17.7  
 Existing Zoning: PD-R  
 Existing FLU: RES-6  
 Overlays: NONE  
 Special Areas: NONE

CHH: N  
 Watershed: NONE  
 Drainage Basin: FROG CREEK,CABBAGE SLOUGH  
 Commissioner: Larry Bustle

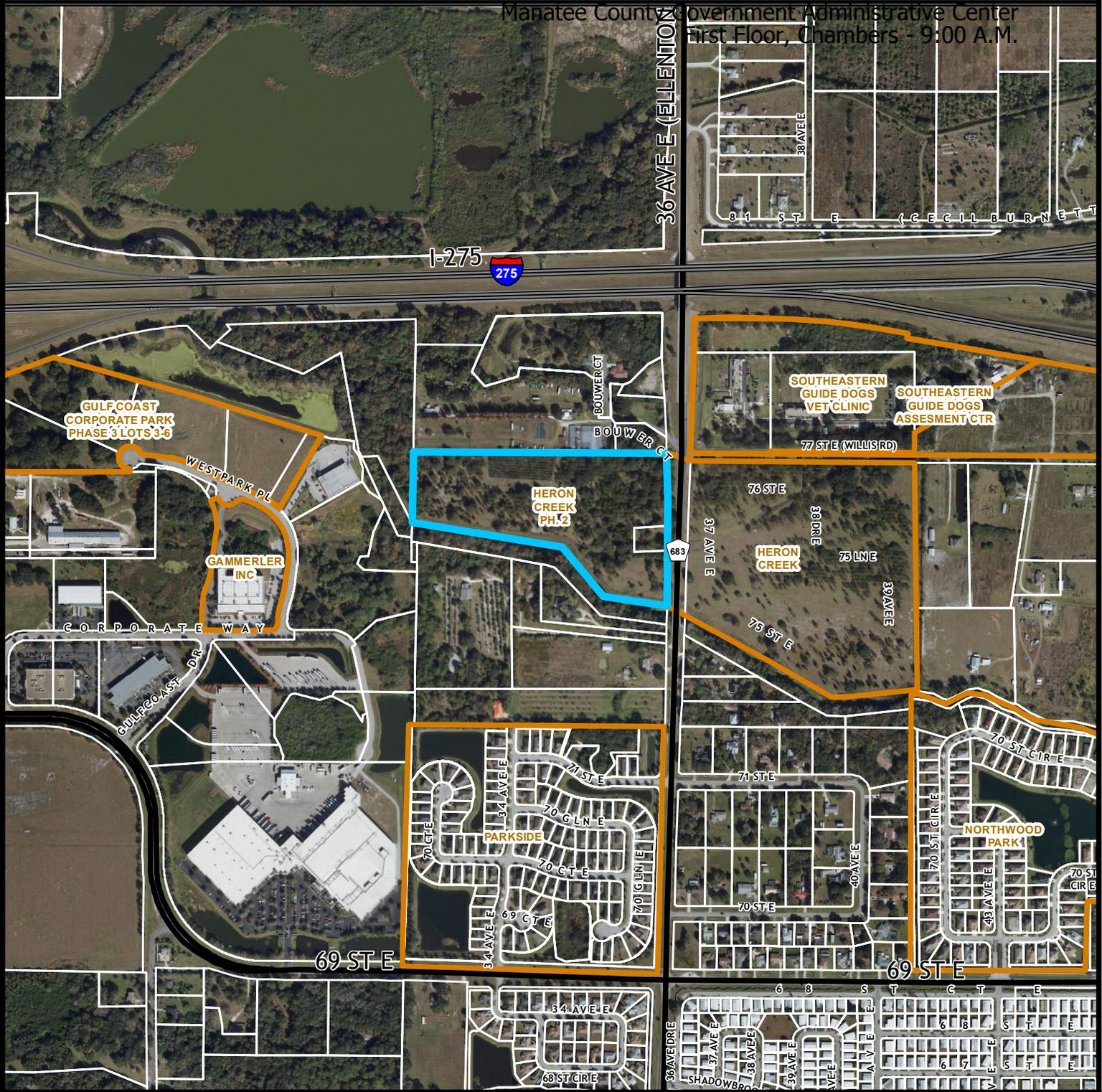


Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 726 feet



# AERIAL

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 669800005

Project Name: Heron Creek Ph. 2  
 Project #: PDR-14-24 (P)  
 DTS#: 20140382  
 Proposed Use: Residential

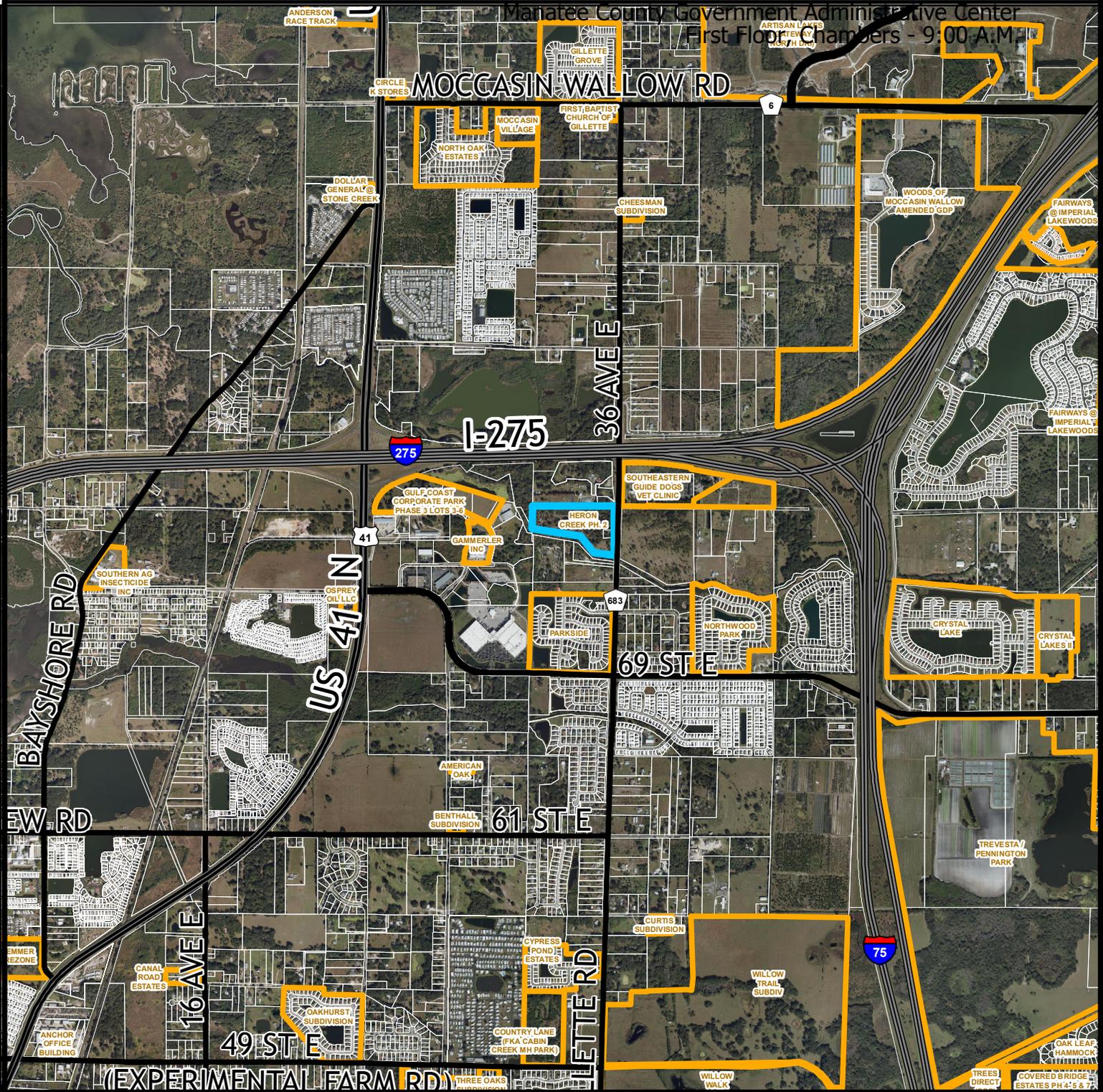
S/T/R: S29 T33 R18  
 Acreage: 17.7  
 Existing Zoning: PD-R  
 Existing FLU: RES-6  
 Overlays: NONE  
 Special Areas: NONE

CHH: N  
 Watershed: NONE  
 Drainage Basin: FROG CREEK,CABBAGE SLOUGH  
 Commissioner: Larry Bustle



Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 726 feet

# AERIAL



Manatee County Government Administrative Center  
First Floor Chambers - 9:00 A.M.

Parcel ID #(s) 669800005

Project Name: Heron Creek Ph. 2  
Project #: PDR-14-24 (P)  
DTS#: 20140382  
Proposed Use: Residential

S/T/R: S29 T33 R18  
Acreage: 17.7  
Existing Zoning: PD-R  
Existing FLU: RES-6  
Overlays: NONE  
Special Areas: NONE

Page 15 of 204

CHH: N  
Watershed: NONE  
Drainage Basin: FROG CREEK,CABBAGE SLOUGH  
Commissioner: Larry Bustle



Manatee County  
Staff Report Map

Map Prepared 10 / 2014

1 inch = 2,258 feet

P.C. 2/12/2015

**PDR-14-24(P) – HERON CREEK, PHASE II (DTS #20140382)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36<sup>th</sup> Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**P.C.: 2/12/2015**

**B.O.C.C.: 3/5/2015**

**RECOMMENDED MOTION:**

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be **CONSISTENT** with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend **ADOPTION** of Manatee County Zoning Ordinance No. PDR-14-25(P); **APPROVAL** of the Preliminary Site Plan with Stipulations #A-1, #B-1, #C-1 through C-3, #D-1 through D-7, #E-1 through E-6, and #F-1; **GRANTING** Special Approval for 1) a project in the RES-6 Future Land Use Category for adjacency to a perennial stream, and 2) a project within an Entranceway; as recommended by staff.

<b>PROJECT SUMMARY</b>	
<b>CASE#</b>	<b>PDR-14-24(P) - (DTS # 20140382)</b>
<b>PROJECT NAME</b>	<b>Heron Creek, Phase II</b>
<b>APPLICANT(S):</b>	<b>Stephenson Manor Homes, Inc. (Jeff Stephenson)</b>
<b>AGENT:</b>	<b>ZNS Engineering, L.C.</b>
<b>EXISTING ZONING:</b>	<b>PDR (Planned Development Residential)</b>
<b>ACREAGE:</b>	<b>17.705 ± acres</b>
<b>PROPOSED USE(S):</b>	<b>45 single family attached residences</b>
<b>CASE MANAGER:</b>	<b>Shelley Hamilton</b>
<b>STAFF RECOMMENDATION:</b>	<b>APPROVAL</b>

**DETAILED DISCUSSION**

**History**

The majority of the property was rezoned to PDR in 1989 and approved, in conjunction with the property east of Ellenton-Gillette Road, to allow 131 lots at a density of 2.86 dwelling units per acre. In 2006, the approval was amended to add 3.7 ± acres of property and to amend the Preliminary Site Plan to allow 125 lots at a density of 2.54 dwelling units per acre gross and 2.65 dwelling units per acre net. Again, this action in 2006 was in conjunction with the property east of Ellenton-Gillette Road and was proposed as a two phase development to be known as Heron Creek, Phases I and II. Phase I of Heron Creek, east of Ellenton-Gillette Road, is currently underway with the development of 90 single family units.

**Future Land Use**

The subject property is designated RES-6 on the Future Land Use map for Manatee County. The intent of the RES-6 FLU category is to provide areas for low density urban, or clustered low-moderate urban, residential environments. It is also to provide for a complement of residential support uses normally utilized during the daily activities of residents of these low or low-moderate density urban areas.

The maximum gross density allowed in the RES-6 FLU category is 6 dwelling units per acre. The proposed Heron Creek development will allow a total gross density of 2.54 dwelling units

per acre, well within the range for the RES-6 FLU category. Special Approval is required for a proposed development adjacent to a perennial stream (Buffalo Canal, in this case).

**Request**

The current request is to amend the Preliminary Site Plan for Phase II to allow the total of 45 lots (an increase of 10 lots over what is currently approved) on 17.70 ± acres located west of Ellen-Gillette Road. This will allow a gross density of 2.54 dwelling units per acre and a net density of 2.62 dwelling units per acre. The subject property is located within a designated Entranceway (I-275) and has frontage along Ellenton-Gillette Road. Also, Buffalo Canal runs along the southern portion of the site.

Typical lot sizes are proposed to be 6,600 square feet (55' x 120'). The development is proposing a total open space calculation of 37.5% (6.63 ± acres). There are no wetlands on the site. The site is in close proximity to residential developments either currently existing or under construction. These residential developments have a variety of lot sizes and unit types, ranging from small manufactured home to homes on one acre or larger. The internal street system is designed to connect to Ellenton-Gillette Road.

Staff recommends APPROVAL of the Preliminary Site Plan with stipulations as outlined on pages 6 through 9 of this staff report.

<b>SITE CHARACTERISTICS AND SURROUNDING AREA</b>	
<b>ADDRESS:</b>	<b>7600 36<sup>th</sup> Avenue East; Palmetto, FL</b>
<b>GENERAL LOCATION:</b>	<b>West of Ellenton Gillette Road at the southeast corner of Willis Road and approximately 1/3 mile north of 69<sup>th</sup> Street East and 1/3 mile south of I-275</b>
<b>ACREAGE:</b>	<b>17.705 ± acres</b>
<b>EXISTING USE(S):</b>	<b>Vacant</b>
<b>FUTURE LAND USE CATEGORY(S):</b>	<b>RES-6</b>
<b>OVERLAY DISTRICT(S):</b>	<b>Entranceway</b>
<b>DENSITY / INTENSITY:</b>	<b>Gross: 2.54 dwelling units per acre Net: 2.62 dwelling units per acre</b>
<b>SPECIAL APPROVAL(S):</b>	<b>1) Adjacent to a perennial stream (Buffalo Creek); and 2) Project within an “Entranceway”</b>
<b>SPECIFIC APPROVAL(S):</b>	<b>N/A</b>

<b>SURROUNDING USES &amp; ZONING</b>									
<b>NORTH</b>	<b>Southeastern Guide Dog School – PDR Single Family residence – A-1</b>								
<b>SOUTH</b>	<b>Single Family residences – RSF-1 and A-1</b>								
<b>EAST</b>	<b>Vacant land and a single family residence – A-1</b>								
<b>WEST</b>	<b>Vacant land – PDMH and PCMU</b>								
<b>SITE DESIGN DETAILS</b>									
<b>LOT SIZE(S):</b>	<b>6,600 sq. ft. (55' x 120')</b>								
<b>SETBACKS:</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"><b>Front</b></td> <td style="text-align: center;"><b>25'</b></td> </tr> <tr> <td style="text-align: center;"><b>Side</b></td> <td style="text-align: center;"><b>7.5'</b></td> </tr> <tr> <td style="text-align: center;"><b>Rear</b></td> <td style="text-align: center;"><b>15'</b></td> </tr> <tr> <td style="text-align: center;"><b>Waterfront</b></td> <td style="text-align: center;"><b>30'</b></td> </tr> </table>	<b>Front</b>	<b>25'</b>	<b>Side</b>	<b>7.5'</b>	<b>Rear</b>	<b>15'</b>	<b>Waterfront</b>	<b>30'</b>
<b>Front</b>	<b>25'</b>								
<b>Side</b>	<b>7.5'</b>								
<b>Rear</b>	<b>15'</b>								
<b>Waterfront</b>	<b>30'</b>								
<b>OPEN SPACE:</b>	<b>Required – 30% (25% in PDMU and 5% in Entranceway) Provided – 37.5%</b>								
<b>RECREATIONAL AMENITIES:</b>	<b>Entry feature with a walking trail</b>								
<b>RECREATIONAL ACREAGE:</b>	<b>0.45 ± acres</b>								
<b>ACCESS:</b>	<b>One entrance from Ellenton Gillette Road</b>								
<b>FLOOD ZONE(S)</b>	<b>AE and X – FIRM Panels 12088C1058E and 12081C0159E (effective 3/17/2014)</b>								
<b>AREA OF KNOWN FLOODING</b>	<b>Yes, 50% reduction required</b>								
<b>UTILITY CONNECTIONS</b>	<b>Water – 16” potable water main along Ellenton- Gillette Road Sewer – 10” force main along Ellenton-Gillette Road</b>								
<b>ENVIRONMENTAL INFORMATION</b>									
<p><b><u>Wetlands</u></b>                  According to the environmental narrative submitted with the application, there are no wetlands on-site. The narrative indicates that this was field-verified.</p>									

**Uplands**

According to the original FLUCCS Map, most of the site is unimproved pasture with a small amount of nursery trees.

**Endangered Species**

According to the narrative with the application, the only listed species known to use the site were sandhill cranes and woodstorks, for foraging. No nests were observed nor are any expected to occur. An updated environmental narrative indicated that habitat suitable for gopher tortoises was observed on site. It also indicated that if potentially occupied burrows are identified within the development areas, they will be required to obtain an FWC gopher tortoise relocation permit. A stipulation has been added to ensure that this occurs.

**Trees**

A tree survey has been provided with the Preliminary Site Plan and a tree removal and replacement matrix has been provided. It indicates that 59 trees and 47 palms are to be removed from single-family lot areas. A total of 29 trees and 30 palms are to be removed from other areas of the site and are subject to tree replacement requirements. This will be addressed with the Final Site Plan submittal.

**Landscaping/Buffers**

Perimeter greenbelt buffers, 15' in width, are being provided around the project with an additional 20' buffer along the north property line where the project abuts active agricultural uses. A 6' high black vinyl fence is proposed for screening material in the buffer along the north boundary and a decorative opaque fence is proposed along the west property boundary. A 20' roadway buffer is being provided along Ellenton-Gillette Road. A 6' high fence and landscape materials are proposed within this buffer and will be provided in accordance with the LDC requirements.

<b>NEARBY DEVELOPMENT</b>				
<b>RESIDENTIAL</b>				
<b>PROJECT</b>	<b>LOTS / UNITS</b>	<b>DENSITY</b>	<b>FLUC</b>	<b>YEAR APPROVED</b>
<b>Heron Creek, Phase I</b>	<b>90 lots</b>		<b>RES-6</b>	<b>2006</b>
<b>Northwood Park</b>	<b>110 lots</b>	<b>2.87</b>	<b>7,637 sq. ft.</b>	<b>2003</b>
<b>Parkside</b>	<b>113 lots</b>	<b>2.80</b>		<b>2003</b>
<b>Foster's Creek</b>	<b>200 lots</b>	<b>4.00</b>		<b>1994</b>
<b>Arbor Creek</b>	<b>118 lots</b>	<b>2.48</b>		<b>1999</b>
<b>Palm View Acres</b>	<b>24 lots</b>	<b>0.83</b>		<b>1978</b>

<b>POSITIVE ASPECTS</b>
<ul style="list-style-type: none"> <li>• The area consists mostly of single-family detached homes;</li> <li>• The proposed density is less than the maximum potential density in the RES-6 FLUC, and in keeping with the other densities in the area;</li> <li>• The development is proposing 37.5% open space;</li> <li>• The development depicts sidewalks on both sides of internal roads.</li> </ul>
<b>NEGATIVE ASPECTS</b>
N/A
<b>MITIGATING MEASURES</b>
N/A
<b>STAFF RECOMMENDED STIPULATIONS</b>
<p><b>A. <u>DESIGN AND LAND USE:</u></b></p> <ol style="list-style-type: none"> <li>1. All lots adjacent to active agricultural operations shall have an additional 35' setback. If an adjoining agricultural operation is no longer in effect at the time of submittal of the Final Plat, then the requirements of Section 702.6.7 shall no longer apply, and the additional 35' setback may be eliminated from the Final Plat.</li> </ol> <p><b>B. <u>TRANSPORTATION:</u></b></p> <ol style="list-style-type: none"> <li>1. Prior to Final Plat approval for the first lot of Heron Creek, Phase II, a northbound left-turn lane, with a minimum storage length of 50 feet and a deceleration length of 185 feet (include a 50 foot taper) shall be constructed at the intersection of Ellenton-Gillette Road and the project driveway. The required improvements shall be depicted on the Final Site Plan (FSP) and construction plans.</li> </ol> <p><b>C. <u>INFRASTRUCTURE:</u></b></p> <ol style="list-style-type: none"> <li>1. Abandoned septic tanks shall be pumped out, bottoms ruptured, and filled with clean sand or other suitable material. A permit is required from Florida Department of Health unless work is approved by the County Public Works.</li> <li>2. If an inter-neighborhood tie is not provided, then an easement(s) shall be provided to the property to the north to allow for the sharing of water and wastewater facilities. If the Specific Approval is not granted, and the Applicant is required to</li> </ol>

**provide the inter-neighborhood tie to the adjacent property to the north, this inter-neighborhood tie may be substituted for this easement.**

- 3. The cost of connection to Manatee County water and wastewater, including the design and construction of off-site extensions of lines, shall be the responsibility of the Applicant. Such off-site extensions shall be designed and constructed in accordance with the applicable County System Master Plan. The connection shall be designed, engineered and permitted by the Applicant consistent with Manatee County Public Works Standards and approved by the County Engineer through the construction plans review process for this project.**

**D. STORMWATER:**

- 1. The calculated pre-development flow rate shall be reduced by fifty percent (50%) for all stormwater outfall flow directly or indirectly into Buffalo Canal. Modeling shall be used to determine pre- and post-development flows. Over-attenuation of runoff previously permitted within Heron Creek, Phase I (FSP-07-13/DTS #20130537) shall be creditable for this project.**
- 2. Any fill within the 100-year and 25-year floodplain of Buffalo Canal shall be compensated by the creation of an equal or greater storage volume above seasonal high water table. Floodplain compensation shall be compensated in sole use compensation areas, not dual use facilities (i.e., stormwater attenuation and floodplain compensation).**
- 3. A Drainage Easement shall be dedicated to Manatee County and be shown on the Final Site Plan and Final Plat along Buffalo Canal and other drainage conveyance systems within the project boundaries. In addition, a twenty-five (25) feet Drainage-Maintenance Access Easement shall be provided along the north top-of-bank of Buffalo Canal. A twenty (20) feet Drainage-Maintenance Access Easement shall be provided along at least one side of all drainage conveyance systems (except Buffalo Canal). The northerly five (5) feet of the Drainage-Maintenance Access Easement may only be landscaped per approval from the Stormwater Management Division, Environmental Planning Division and the case planner. Manatee County is only responsible for maintaining the free flow of drainage through these systems.**
- 4. A no-rise permit shall be required for all encroachment within the FEMA 100-year floodway of the Buffalo Canal. Any existing or proposed structures within the floodway shall be modeled.**
- 5. The existing 25-year flood elevation along the Buffalo Canal shall be utilized as tailwater condition.**

6. All residential lots shall be located outside of the post-development 25-year floodplain.
7. The Drainage Model and Construction Plan shall demonstrate that no adverse impacts will be created to neighboring residents surrounding the site in respect to drainage routing, grading and runoff.

**E. ENVIRONMENTAL:**

1. The developer shall provide an updated study, consistent with Policy 3.3.2.3 of the Comprehensive Plan, for threatened and endangered plant and animal species prior to Final Site Plan approval. A Management Plan, approved by the appropriate State of federal agency, shall be provided to the Environmental Planning division of Building and Development Services for any listed species found on-site, prior to Final Site Plan approval.
2. A Conservation Easement for the areas defined as post-development jurisdictional wetlands/wetland buffers and upland preservation areas shall be dedicated to the County prior to or concurrent with Final Plat approval.
3. No lots shall be platted through post-development wetlands, wetland buffers or upland preservation areas.
4. A Construction Water Quality Monitoring Program and proposed sampling locations are required to be included in the ESCP information on the Final Site Plan in accordance with LDC Section 519.
5. A Well Management Plan for the proper protection and abandonment of existing wells shall be submitted to the County for review and approval prior to Final Site Plan approval. The Well Management Plan shall include the following information:
  - Digital photographs of the well along with nearby reference structures (if existing);
  - GPS coordinates (latitude/longitude) of the well;
  - The methodology used to secure the well during construction (e.g., fence, tape); and
  - The final disposition of the well – used, capped, or plugged.
6. Irrigation for landscaping shall use the lowest water quality source available, which shall be identified on the Final Site Plan. Use of Manatee County public potable water supply shall be prohibited.

**F. NOTICES:**

1. A Notice to Buyers shall be included in the Declaration of Covenants and Restrictions, and in a separate addendum to the Sales Contract, and in the Final

<p><b>Plat, and shall include language informing prospective homeowners of the following:</b></p> <p>a) The presence of the dog training facility and other neighborhood agricultural uses, which may possibly include pesticides and herbicides and may have odors, and noises associated with their uses.</p>
<b>REMAINING ISSUES OF CONCERN – NOT RESOLVED OR STIPULATED</b>
None

<b>COMPLIANCE WITH LDC</b>			
Standard(s) Required	Compliance		Comments
	Y	N	
<b>BUFFERS</b>			
20' roadway buffer, Ellenton-Gillette Road	Y		Shown on plan
15' perimeter buffer to west and south	Y		Shown on plan
35' perimeter buffer next to active agriculture to north	Y		Shown on plan
Buffer landscaping	Y		Shown on plan
<b>SIDEWALKS</b>			
5' internal sidewalks	Y		Shown on plan
5' sidewalk, exterior	Y		Shown on plan
<b>ROADS &amp; RIGHTS-OF-WAY</b>			
50' internal rights-of-way	Y		Streets to be public
24' paved roadways	Y		Shown on plan
Inter-neighborhood Ties		N	No Specific Approval request needed per County Attorney's interpretation
<b>COMPLIANCE WITH THE LAND DEVELOPMENT CODE</b>			
<b>Factors for Reviewing Proposed Site Plans (Section 508.6)</b>			

**Physical Characteristics**

The property is a vacant parcel formerly used as an orange grove and recently used as a tree farm. The property is located west of 36<sup>th</sup> Avenue (Ellenton-Gillette Road) and south of I-275. There are a number of different land uses in the vicinity, although the area is generally characterized as a residential area. A large drainage ditch (Buffalo Canal, aka Frog Creek) is located along the southern boundary of the site. The physical characteristics and conditions are appropriate for residential development.

### **Public Utilities, Facilities and Services**

The site is located in an area of the County where municipal services, utilities, and schools are available. The site is served by potable water and sanitary sewer, provided by Manatee County. Connection to these lines is anticipated. EMS will be provided by Manatee County Public Safety Department and Fire Protection by North River Fire District. Services can reasonably be expected to be available at the time of request for Certificate of Level of Service.

### **Major Transportation Facilities**

The site is located on East 36<sup>th</sup> Avenue (Ellenton-Gillette Road), south of I-275. Ellenton-Gillette Road is designed as an Urban Collector according to Comprehensive Plan Map 5-A (Existing Roadways Functional Classification Map). A Traffic Impact Statement was provided by the applicant and reviewed by Transportation Planning.

### **Compatibility**

The site is located in an area of mixed residential, agricultural and industrial uses. The site is located where single family residential dwelling units would be appropriate. The site has been planned to minimize the negative effects of external impacts resulting from factors, such as traffic, noise, and lights. The project is proposed with a single entrance from Ellenton-Gillette Road with a twenty foot roadway landscape buffer. A thirty-five foot agricultural buffer is provided along the northern property line, with a transition to a fifteen foot buffer to the north of Lots 3 and 4, adjacent to a single family residence. A fifteen foot buffer is provided along the eastern perimeter. A twenty-five foot drainage easement is proposed from the top of bank along Buffalo Canal (aka Frog Creek) with a landscape buffer of 15 feet, 5 feet of which are within the easement.

### **Transitions**

The site is in an area of varying residential densities; however, there is no discernible pattern. The planned development will ensure design and buffering compatibility between districts.

### **Design Quality**

The site plan, as proposed, is sensitive to the impacts of the proposed development. Specific Approvals have been requested to mitigate possible impacts to adjacent properties.

### **Adjacent Property**

As stated above, the site plan has been designed to adequately protect existing or probable future uses.

### **Access**

As proposed, access into the site is from Ellenton-Gillette Road. Access will consist of a 50 foot right-of-way section for a two lane street within the community. Access into the community will be constructed in accordance with Manatee County requirements, and dedicated to Manatee County.

### **Streets, Drives, Parking and Service Areas**

All streets, drives, parking and service areas will be designed to provide safe and convenient access to all residential units. All streets and utilities will be designed to meet all Manatee County requirements and will require specific construction drawing approvals prior to construction. There is no logical future extension to provide inter-neighborhood ties to the west and south. Buffalo Canal exists to the south and an environmental area exists to the west.

### **Pedestrian Systems**

Access for pedestrians and cyclists entering and leaving the subject property will be via safe and convenient routes. Crossings for pedestrian ways are safely located, marked, controlled and related to vehicular systems so that street crossings are combined. Both internal and external sidewalk systems will be provided, as shown on the Preliminary Site Plan.

### **Natural and Historic Features, Conservation and Preservation Areas**

As previously noted, the site is currently vacant and vegetated. Most recently, the property was used as a tree farm. There are no known archaeological or historic features on site. The applicant provided a letter from the Department of State acknowledging no archaeological, historic or architectural sites of significance on the subject property.

### **Density/Intensity**

The Future Land Use classification for the subject property is RES-6, which permits six dwelling units per acre. A Special Approval is required by the Board of County Commissioners for any development in the RES-6 FLUC over 4.5 gross dwelling units per acre or 6.0 net dwelling units per acre.

The application, as submitted, will allow a gross density of 2.54 dwelling units per acre (45 dwelling units on 17.7 acres, and 55' x 120' lot sizes). The proposed density does not exceed the maximums established in the RES-6 FLUC category.

### **Height**

The proposed residential units will be one or two stories in height, not to exceed thirty-five feet overall.

### **Fences and Screening**

A fence will be provided within the north and west buffer areas, consistent with Heron Creek, Phase I development. Landscaped buffers are proposed along the perimeters of the development. The project will provide the required twenty (20) foot roadway buffer. A thirty-five (35) foot agricultural buffer will be provided along the northern boundary, and will transition to a 15 foot buffer adjacent to Lots 3 and 4, adjacent to a single family residence. A fifteen (15) foot buffer will be provided along the western boundary, and a twenty-five (25) foot drainage easement will be provided adjacent to Buffalo Canal (aka Frog Creek).

**Yards and Setbacks**

Minimum yards and setbacks are outlined on the Preliminary Site Plan. These proposed yards and setbacks are in keeping with those approved elsewhere in this portion of Manatee County.

**Trash and Utility Plant Screens**

There are no central refuse facilities proposed. Solid waste will consist of individual can and curbside pickup for residential units.

**Signs**

Signage will be provided at the entrance of the development and will be in accordance with the Manatee County Land Development Code.

**Landscaping**

Landscaping will meet or exceed the standards, as required in Section 715 of the Land Development Code.

**Mixed Use or Entranceway Designation**

The site is located within a designated Entranceway. The Preliminary Site Plan has been designed to reflect the criteria in Section 737 of the Land Development Code.

**Water Conservation**

The applicant has committed to providing creative site development concepts for water conservation as a part of the Final Site Plan/Construction Plan submittal.

**Utility Standards**

All utility improvements shall adhere to the requirements of the Manatee County Public Works Standards for construction. Although not anticipated at this time, specific deviations from the standards, due to an existing site constraint or dimensional conflict, will be requested in writing, as required, at the time of Construction Plan submittal.

**Stormwater Management**

Stormwater management facilities shall adhere to the requirements of Section 717, Stormwater Management, and the Manatee County Development Standards.

**Open Space**

The minimum open space requirements (30%) will be exceeded by the proposed development. Twenty-five (25) percent is required as a planned development, and an additional five (5) percent is required as a development within an Entranceway. Open space calculations are provided on the Preliminary Site Plan.

## COMPLIANCE WITH COMPREHENSIVE PLAN

**The site is in the RES-6 Future Land Use Category. A list of Comprehensive Plan Policies applicable to this request is attached. This project was specifically reviewed for compliance with the following policies:**

**Policy 2.1.2.7 Appropriate Timing.** The timing is appropriate given development trends in the area. The surrounding area is characterized by residential single-family developments.

**Policy 2.2.1.12.1 Intent.** The site is intended for low density urban, or a clustered low-moderate density urban, residential environment. The proposed density (2.54 gross and 2.65 net) is in compliance and below the Special Approval threshold (4.5 gross and 6.0 net) in the **RES-6 FLUC**.

**Policy 2.2.1.12.2 Range of Potential Uses.** Single-family detached homes are in the range of potential uses.

**Policy 2.6.1.1 Compatibility.** The Preliminary Site Plan design is compatible with surrounding development because the uses proposed, lot sizes, and setbacks are comparable with surrounding development. Appropriate buffers are provided for compatibility and transition between existing developments.

**Policy 2.6.5.4 Preserve/Protect Open Space.**

The site plan shows 37.5% open space (6.63 ± acres). 30% open space is required (25% in a PD district, and an additional 5% because the site is partially within the I-275 Entranceway).

## TRANSPORTATION

### **Major Transportation Facilities**

The site is adjacent to Ellenton-Gillette Road, which is designated as a four-lane arterial roadway with a planned right-of-way width of 120 feet.

### **Transportation Concurrency**

Transportation Concurrency was reviewed for the project. The applicant prepared a Traffic Impact Statement (TIS) to evaluate project-related traffic impacts on the adjacent section of Ellenton-Gillette Road. Based on the approved TIS, staff finds that the impacted roadway segment will operate better than the level of service “D” performance standard with no required concurrency-related improvements (see Certificate of Level of Service table below).

### **Access**

The Traffic Impact Statement also included review of the site access point. The analysis indicated one site related improvement will be required:

- a) Construct a northern left-turn lane with a minimum storage length of 50 feet and a deceleration length of 185 feet (including a 50 foot taper).

**CERTIFICATION OF LEVEL OF SERVICE (CLOS) COMPLIANCE**

**CLOS APPLIED FOR:**     Y   X     N         
**TRAFFIC STUDY REQ'D:** Y   X     N       

NEAREST ROADWAY	LINK(S)	ADOPTED LOS	EXISTING LOS
Ellenton-Gillette Road	2410	“D”	“C”

**OTHER CONCURRENCY COMPONENTS**

**Solid waste landfill capacity, and preliminary drainage intent have been reviewed with this Preliminary Site Plan. Potable water, wastewater and school facilities will be reviewed at Final Site Plan/Construction Plan stage.**

**SPECIAL APPROVAL – ANALYSIS, RECOMMENDATION, FINDINGS**

- 1. Request:**  
 Comprehensive Plan Policy 3.2.2.1 requires all projects adjacent to a perennial lake or stream to obtain a Special Approval.

**Staff Analysis and Recommendation**

The applicant has demonstrated in the application submitted that the water quality for the perennial stream adjacent to the property will be maintained through the proposed onsite stormwater attenuation proposed.

As further assurance that the water quality will be maintained to the perennial stream, the applicant will be required to provide 150% of the normally required stormwater quality treatment as the project will discharge to Buffalo Canal. Any fill within the 100-year and 25-year floodplain shall be compensated by the creation of an equal or greater storage volume above seasonal high water table. A Drainage Easement shall also be dedicated to Manatee County along Buffalo Canal and other drainage conveyance systems within the project boundaries. In addition, a twenty-five (25) foot Drainage Maintenance Access Easement shall be provided along the north top-of-bank of Buffalo Canal.

**Finding for Special Approval**

Notwithstanding the requirements of Comprehensive Plan Policy 3.2.2.1, the Board finds that the purpose of the Comprehensive Plan, specifically the intent to require all new

projects adjacent to a perennial stream be established pursuant to the Special Approval process. The information submitted with the Special Approval, in conjunction with the rezone application, ensures that all criteria for the use proposed have been satisfied, and ensures that the intent of the Comprehensive Plan in relation to adjacency to perennial stream is satisfied to an equivalent degree by the proposed design.

**2. Request:**

Comprehensive Plan Policy 2.9.4.1 requires projects within an “Entranceway” to apply for Special Approval.

**Staff Analysis and Recommendation:**

The purpose of “Entranceway” designations is to ensure that an aesthetically pleasing environment which enhances the image of Manatee County as a high quality community in which to live, work and visit is provided. In order to provide this assurance, a project must provide special landscaping, design and signage control that achieves this positive image and sense of place.

The applicant has provided the necessary assurances to achieve the required “entranceway” requirements relating to landscaping and design. The signage controls will be applied at the next stage of the development process.

**Finding for Special Approval:**

Notwithstanding the requirements of Comprehensive Plan Policy 2.9.4.1, the Board finds that the purpose of the Comprehensive Plan, specifically enhancing the “entranceways” to Manatee County is provided, is adhered to.

**ATTACHMENTS**

- 1. Applicable Comprehensive Plan Policies**
- 2. Affidavit of Ownership**
- 3. Traffic Impact Statement**
- 4. Copy of Newspaper Advertising**

**APPLICABLE COMP PLAN POLICIES**

Policy: 2.1.2.7      Review all proposed development for compatibility and appropriate timing. This analysis shall include:

- consideration of existing development patterns,
- types of land uses,
- transition between land uses,
- density and intensity of land uses,
- natural features,
- approved development in the area,
- availability of adequate roadways,
- adequate centralized water and sewer facilities,
- other necessary infrastructure and services.
- limiting urban sprawl
  
- (See also policies under Objs. 2.6.1 - 2.6.3)

Policy: 2.2.1.12      **RES-6:** Establish the Residential-6 Dwelling Units/Gross Acre future land use category as follows:

Policy: 2.2.1.12.1      Intent: To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established for a low density urban, or a clustered low-moderate density urban, residential environment. Also, to provide for a complement of residential support uses normally utilized during the daily activities of residents of these low or low-moderate density urban areas.

Policy: 2.2.1.12.2      Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5): Suburban or urban residential uses, small or medium retail and office commercial uses, short-term agricultural uses other than special agricultural uses, agriculturally-compatible residential uses, public or semi-public uses, schools, low intensity recreational uses, and appropriate water-dependent/water-related/water-enhanced uses (see also Objectives 4.2.1 and 2.10.4).

Policy: 2.2.1.12.3      Range of Potential Density/Intensity:

Maximum Gross Residential Density:  
6 dwelling units per acre

Maximum Net Residential Density:  
12 dwelling units per acre  
(except within the WO or CSVA Overlay Districts pursuant to Policies 2.3.1.4 and 4.3.1.5)

Maximum Floor Area Ratio:  
0.23  
(0.35 for mini-warehouse uses only)

Policy: 2.2.1.12.4 Other Information:

- (a) All mixed and multiple-use projects require special approval, as defined herein, and as further defined in any land development regulations developed pursuant to ' 163.3202, F.S.
- (b) All projects for which gross residential density exceeds 4.5 dwelling units per acre, or in which any net residential density exceeds 6 dwelling units per acre shall require special approval.
- (c) Any nonresidential project exceeding 30,000 square feet of gross building area shall require special approval.
- (d) Small commercial (professional) office uses not exceeding 3,000 square feet in gross floor area within this category may be exempted from compliance with any locational criteria specified under Policies 2.10.4.1 and 2.10.4.2, and detailed in the Land Use Operative Provisions Section E (1) provided such office is located on a roadway classified as a minor or principal arterial, however, not including interstates and shall still be consistent with other commercial development standards and with other goals, objectives, and policies in this Comprehensive Plan (see also 2.10.4.2).

Policy: 2.6.1.1 Require all adjacent development that differs in use, intensity, height, and/or density to utilize land use techniques to mitigate potential incompatibilities. Such techniques shall include but not be limited to:

- use of undisturbed or undeveloped and landscaped buffers
- use of increased size and opacity of screening
- increased setbacks
- innovative site design (which may include planned development review)
- appropriate building design
- limits on duration/operation of uses
- noise attenuation techniques
- limits on density and/or intensity [see policy 2.6.1.3]

Policy: 2.6.2.1 Limit location of new residential development and residential support uses adjacent to intensive and incompatible agricultural operations.

- Policy: 2.9.4.1 Maintain all interstate connectors as “Entranceways” to permit implementation of special landscaping, project design, and signage control criteria to achieve a boulevard image and positive sense of place.
- Policy: 3.2.2.1 Require all projects that are adjacent to any perennial lake or stream, as reflected in the Manatee County Soil Survey, obtain special approval to ensure that project impacts on these waterbodies are identified and minimized. [See Policy 2.3.1.2]
- Policy: 3.2.3.2 Require all water users to use the lowest quality of available water which adequately and safely meets their water use needs by requiring stormwater reuse, alternative irrigation sources, reclaimed water use, and gray water irrigation systems where feasible. [See Policies 9.4.1.11, 9.6.1.2, and policies under objective 9.1.5]

**MANATEE COUNTY BUILDING AND DEVELOPMENT SERVICES DEPARTMENT  
AFFIDAVIT OF OWNERSHIP/AGENT AUTHORIZATION AFFIDAVIT**

Property Owner (Company or individual) *(print)*: Stephenson Manor Homes, Inc.  
 Mailing Address *(print)*: PO Box 1680, Palmetto, FL 34220  
 Officer's Name and Title *(print)*: James F. Stephenson, Jr., Agent

*Being first duly sworn, depose(s) and say(s):*

1. That I am (we are) the owner's and record title holder(s) of the following described property legal description, to wit: See Attached Exhibit B

2. That this property constitutes the property for which a request for Preliminary Site Plan

*(Type of Application Approval Requested)*

is being applied for to Manatee County, Florida;

3. That the undersigned has (have) appointed and does (do) appoint Rachel W. Layton, AICP/ZNS Engineering, L.C. as agent(s)

to execute any petitions or other documents necessary to affect such petition; and request that you accept my agent(s) signature as representing my agreement of all terms and conditions of the approval process;

4. That this affidavit has been executed to induce Manatee County, Florida to consider and act on the foregoing request;

5. That I, (we) the undersigned authority, hereby certify that the foregoing is true and correct.

*James F. Stephenson, Jr.* 8/25/14  
 Owner's Signature/Print Title  
 \_\_\_\_\_  
 Owner's Signature/Print Title

STATE OF FLORIDA  
 COUNTY OF MANATEE

The foregoing instrument was acknowledged before me this 8/25/14 by Jeff Stephenson who is personally known to me or who  
 \_\_\_\_\_  
 (name of person acknowledging)

has produced \_\_\_\_\_ as identification  
 \_\_\_\_\_  
 (type of identification)

My Commission Expires: \_\_\_\_\_

*Stephanie Schoff*  
 Signature of Person Taking Acknowledgment  
 \_\_\_\_\_  
 Stephanie Schoff  
 Name



\_\_\_\_\_ Title or Rank

**EXHIBIT "B"**

**LEGAL DESCRIPTION FOR WEST PARCEL ONLY**

**DESCRIPTION: WEST PARCEL**

COMMENCING AT THE NORTHWEST CORNER OF SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST; THENCE RUN S 01°03'30" W, ALONG THE WEST LINE OF SAID SECTION 29, A DISTANCE OF 1221.01 FEET TO THE POINT OF BEGINNING; THENCE S 89°39'50" E, ALONG THE NORTH LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 896, PAGE 579, A DISTANCE OF 1346.83 FEET; THENCE S 03°35'57" E, ALONG THE WESTERLY RIGHT OF WAY LINE OF ELLENTON GILLETTE ROAD PER FDOT SECTION 13175-2403, A DISTANCE OF 301.53 FEET; THENCE S 01°44'21" W, ALONG THE WESTERLY MAINTAINED RIGHT OF WAY LINE OF ELLENTON GILLETTE ROAD, A DISTANCE OF 510.53 FEET; THENCE ALONG THE NORTH RIGHT OF WAY LINE OF FROG CREEK AS DESCRIBED IN OFFICIAL RECORD BOOK 234, PAGE 495, THE FOLLOWING THREE COURSES; N 81°34'21" W, A DISTANCE OF 327.63 FEET; THENCE N 42°50'12" W, A DISTANCE OF 356.90 FEET; THENCE N 82°03'00" W, A DISTANCE OF 798.55 FEET; THENCE N 01°03'38" E, ALONG THE AFOREMENTIONED WEST LINE OF SAID SECTION 29, A DISTANCE OF 399.03 FEET TO THE POINT OF BEGINNING.

LYING AND BEING IN SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

CONTAINING 17.705 ACRES



**Heron Creek Phase II Traffic Impact Statement Approval Letter**

**Jason Utley** to: Rickey Matthews

12/01/2014 02:45 PM

Cc: Clarke Davis, Nelson Galeano, Steve Kollar, Susan Barfield, Tim Collins, Paul Villaluz

RE: Heron Creek Phase II - Traffic Impact Statement  
Petition # PDR-14-24(P)/DTS#20140382  
Consultant: Grimail Crawford, Inc.

Dear Mr. Matthews,

The Manatee County Public Works Department, Transportation Planning Division, has reviewed and approved the Traffic Impact Statement (TIS), revised November 25, 2014 as prepared by Grimail Crawford, Inc. Based on the data provided in this document, the Applicant has addressed the Comprehensive Plan requirements, and provided appropriate traffic-related information to substantiate the findings. In conjunction with this outcome, the Transportation Planning Division recommends transportation concurrency approval.

Please note that the project will directly impact Link # 2410 (Ellenton Gillette Road from Moccasin Wallow Road to 69th Street East) with 51 pm peak-hour trips. However, there are no off-site transportation concurrency improvements required for this project.

A site related safety improvement will be required for this project. At the site driveway, the applicant will construct a northbound left turn lane with a minimum storage length of 50 feet and a deceleration length of 185 feet (including a 50 foot taper).

The applicant has been advised of the need to work with Manatee County regarding right of way needs for Ellenton Gillette Road.

If you have any questions or require further assistance, please contact Clarke Davis at 941.708.7450 Ext 7272 or me at the number below.

Thank You,



2014-11-25\_Heron\_Creek\_Phase\_II\_TIS\_Final.pdf

Jason Utley, AICP  
Transportation Systems Modeler  
Manatee County Government  
941.708.7478  
jason.utley@mymanatee.org  
1022 26th Avenue East  
Bradenton, FL 34208

**TRAFFIC IMPACT STATEMENT**  
**Submitted September 4, 2014; Revised October 24, 2014;**  
**Revised November 25, 2014**

**Heron Creek Phase II**

**Application Number: PDR-14-24(P) / DTS #20140382**

**Introduction**

The purpose of this report is to document a Traffic Impact Statement for the proposed residential development, named Heron Creek Phase II (Project). The Project site is located in Manatee County, Florida, west of Ellenton Gillette Road and south of I-275. A location map for the Project site is provided below. The Project is proposed to contain 45 single-family, detached dwelling units. Access to the site is proposed via a single access on Ellenton Gillette Road.



### Trip Generation

Table 1 below indicates the estimated trips using ITE Trip Generation 9<sup>th</sup> Edition.

**TABLE 1**

ITE Code	Land Use Type	Size	PM Peak-Hour Trips In	PM Peak-Hour Trip Out	PM Peak-Hour Total Trips
210	Single-Family Detached	45	32	19	51
	<b>Total</b>	<b>45</b>	<b>32</b>	<b>19</b>	<b>51</b>

### Capacity

Table 2 below indicates the impacted roadway links and the project traffic impacts on the impacted links and the capacity of those facilities.

**TABLE 2**

Link No.	Road Name	From Street	To Street	Cross Section	Peak Hour Base	Peak Hour Reserved	Peak Hour Total	Peak-Hour two-way LOS Standard Service Volume	Estimated Project Traffic	Avail Peak Hour Capacity (with Project traffic loaded)	5% Peak Hour LOS Vol
2410	Ellenton Gillette Road	Moccasin Wallow	69 <sup>th</sup> Street E	2U	152	453	605	1,150	51	494	58

### Significance

A roadway is determined to be significantly impacted if a project's proposed traffic is greater than 5% of the adopted two-way LOS Standard Service Volume. Table 2 indicates that the project does not significantly impact the adjacent functionally classified (concurrency regulated) roadway segment (Ellenton Gillette Road from Moccasin Wallow to 69<sup>th</sup> Street East). For smaller-type developments which do not significantly impact adjacent transportation facilities, Manatee County's Traffic Impact Analysis Requirements and

Procedures require the analysis of immediately accessed adjacent public roadways.

### **Level of Service**

Based upon information in Table 2, the segment of Ellenton Gillette Road from Moccasin Wallow Road to 69<sup>th</sup> Street East Link Number 2410 appears to be operating at or above the currently adopted LOS standard (D) according to the most recent Manatee County Link Sheet, during the PM peak-hour.

### **Right of Way**

Based upon the Comprehensive Plan's Future Traffic Circulation Map, the segment of Ellenton Gillette Road from Moccasin Wallow Road to 69<sup>th</sup> Street East has a future right of way need of 150 feet (75 foot half width). The applicant will work with the Manatee County Transportation Planning Division to ensure sufficient area to accommodate a future right of way setback for Ellenton Gillette Road.

### **Access**

For access on Ellenton Gillette, the applicant will coordinate with Paul Villaluz at 941.749.3502 x 7859. Details regarding a turn lane evaluation at the Project entrance are provided below.

### **Turn Lane Evaluation at Project Driveway**

Based on a PM peak-hour turning movement count conducted at the nearby intersection of Ellenton Gillette Road and 69<sup>th</sup> Street East, the estimated Project trip distribution on Ellenton Gillette Road is 68% to/from the south and 32% to/from the north. Based on this distribution, the following peak-hour volumes are estimated at the Project driveway: 22 northbound-left turns and 10 southbound-right turns. As documented in the supporting attachments, the projected northbound-left-turning volume warrants the installation of a left-turn lane (according to NCHRP 745), while the projected southbound-right-turning volume does not warrant a turn lane (according to NCHRP 279). A minimum storage length of 50 ft is recommended for the northbound-left turn lane, along with a deceleration length of 185 ft (including 50-ft taper), per FDOT Index 301. Therefore, the total recommended length for the northbound-left turn lane at the Project driveway on Ellenton Gillette Road is 235 feet.



Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

*Your Comprehensive Engineering, Planning and GIS Solutions Consultants*

---

**Conclusion**

This project does not appear to create adverse transportation impacts on adjacent roadway facilities.

A handwritten signature in blue ink that reads 'Richard W. Matthews'.

Richard Matthews, PE  
Grimail Crawford, Inc.

## **SUPPORTING ATTACHMENTS**

# Single-Family Detached Housing (210)

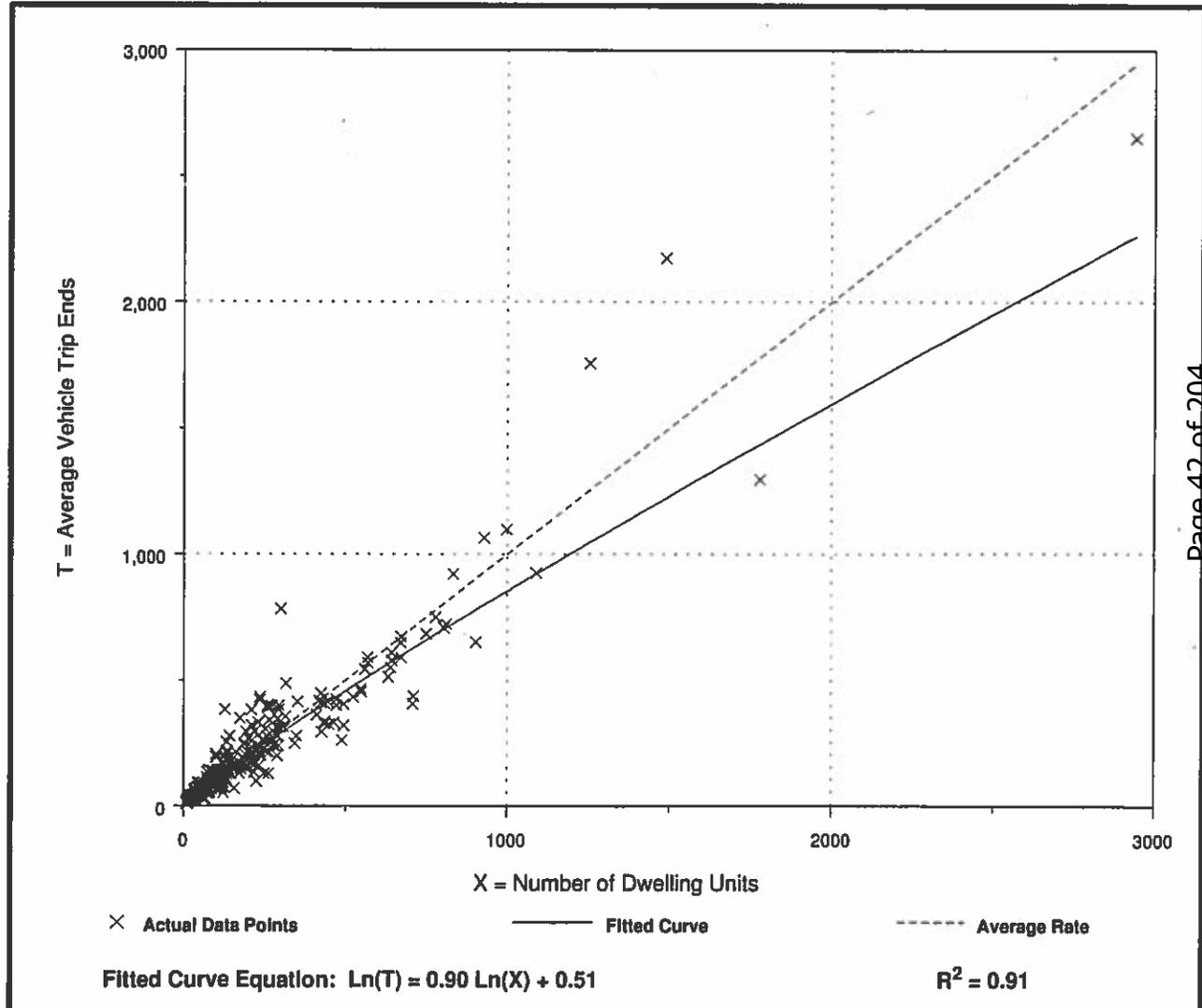
**Average Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

Number of Studies: 321  
 Avg. Number of Dwelling Units: 207  
 Directional Distribution: 63% entering, 37% exiting

## Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
1.00	0.42 - 2.98	1.05

## Data Plot and Equation



Page 42 of 204

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

Manatee County Planning Department  
 Concurrency Transportation Link Sheet

Report run on: November 21, 2014 9:18 AM

Page 9

Link No	Road Name	From Street	To Street	Jrs Dtn	Fnc Cls	U T R	(#1) Crs Sec	Sig/ Mile	Nu m S g	Cl ass Gr p	Le ft Tu ms	5% Peak Hour Vol	Peak LOS	Los Std	Proje Exist Los	Art cled LOS	Plan LOS	Trf Cnt Yr	Exist AADT	K100	O C S	Peak Hour Base	Peak Hour Res	Peak Hour Pend	Peak Hour Total	(#2) Peak Hr LOS Vol	Avail Peak Hour Cap	3 Yr Growth Rate	Cn Yr	Con Typ	De Im Rs	Sn Num
2338	SR 684/CORTEZ RD	59 ST W	26 ST W	ST	MA	U	4D	2.86	6	II	Y	179	D	C	C	12	26500	0.090	O	2,385	131	0	2,516	3,580	1,064	0.000				0	0016	
2340	SR 684/CORTEZ RD	26 ST W	US 41	ST	MA	U	6D	2.67	2	II	Y	269.5	D	C	C	12	51500	0.090	O	4,635	100	42	4,777	5,390	613	0.000				0	5048	
2350	CR 39	SR 62	HILLSBOROUGH CO	MC	MAC	R	2U	0.00	0	55	N	39.5	C	B	B	12	2828	0.095	O	269	22	0	291	790	499	0.000				0	12-10	
2360	CR 675/RUTLAND RD	US 301	SR 64	MC	MAC	R	2U	0.00	0	US	N	39.5	C	B	D	12	2762	0.095	O	262	533	0	795	790	-5	0.000				0	11-16	
2370	CR 675	SR 64	SR 70	MC	MAC	R	2U	0.00	0	55	N	39.5	C	B	B	12	1669	0.095	O	159	3	6	168	790	622	0.000				0	11-10	
2375	CR 675	SR 70	UNIVERSITY PKWY					0.00				0		A	A						0	0	0	0	0	0	0.000					
2380	DUETTE RD	SR 62	SR 64	MC	MIC	R	2U	0.00	0	55	Y	39.5	C	B	B	12	988	0.095	O	94	0	0	94	790	696	0.000				0	12-08	
2390	EL CONQUISTADOR PK	34 ST W	49 ST W	MC	UC	U	4D	0.95	1		Y	124.5	D	C	C	12	3376	0.090	C	304	187	0	491	2,490	1,999	0.000				0	03-43	
2391	EL CONQUISTADOR PKWY	49 ST W	53 AVE W/75 ST W	MC	UC	U	2D	0.00			Y	50.5		A	A			0.090			0	0	0	0	1,010	1,010	0.000					
2400	MOCCASIN WALLOW RD	US 41	ELLENTON-GILLETTE	MC	MA	U	2U	0.00	0	US	Y	57.5	D	C	F	12	3621	0.090	O	326	1,267	0	1,593	1,150	-443	0.000			OUT	0	10-08	
2410	ELLENTON-GILLETTE	MOCASSIN WALLOW	69 ST E	MC	UC	U	2U	0.00	0	US	N	57.5	D	C	C	12	1693	0.090	O	152	453	0	605	1,150	545	0.000				0	10-05	
2420	ELLENTON-GILLETTE	69 ST E	MENDOZA RD	MC	UC	U	2U	0.00	0	US	Y	57.5	D	C	C	12	5603	0.090	C	504	573	0	1,077	1,150	73	0.000				0	09-53	
2435	ELLENTON-GILLETTE	MENDOZA RD	MEMPHIS RD	MC	UC	U	2U	1.00	1		Y	75.5	D	C	C	12	1097	0.090	C	99	610	71	780	1,510	730	0.000				0	09-56	
2436	ELLENTON-GILLETTE	MEMPHIS RD	US 301	MC	UC	U	2U	0.00			Y	75.5	D	C	C	12	7697	0.090		693	444	59	1,196	1,510	314	0.000					09-55	
2450	69 ST E	US 41	ELLENTON-GILLETTE	MC	UC	U	2U	0.00	0	US	Y	75.5	D	C	C	12	9219	0.090	C	830	382	0	1,212	1,510	298	0.000				0	10-45	
2460	69 ST E	ELLENTON-GILLETTE	I-75	MC	UC	U	2U	0.00	0	US	Y	75.5	D	C	C	12	8503	0.090	O	765	282	0	1,047	1,510	463	0.000				0	10-04	
2470	69 ST E	I-75	ERIE RD(CR 75)	MC	UC	U	2U	0.00	0	US	Y	75.5	D	C	C	12	5182	0.090	O	466	713	0	1,179	1,510	331	0.000				0	10-03	
2480	ERIE RD/CR 10	69 ST E	HARRISON RANCH BLVD	MC	MIC	U	2U	0.00	0	US	N	57.5	D	C	C	12	3005	0.090	O	270	559	0	829	1,150	321	0.000				0	10-02	
2485	ERIE RD/CR 10	HARRISON RANCH BL	US 301 (PARRISH)	MC	MIC	T	2U	0.00			Y	149.5		A	A			0.090			0	0	0	0	2,990	2,990	0.000					
2490	ERIE RD/CR 75	69 ST E	US 301(ELLENTON)	MC	UC	U	2U	0.00	0	US	Y	79	D	C	F	12	9006	0.090	O	811	854	63	1,728	1,580	-148	0.000			OUT	0	10-01	

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**TABLE 5-1 (PA-10-22)**  
**MANATEE COUNTY PEAK HOUR LEVEL OF SERVICE STANDARDS**  
**RIGHT-OF-WAY NEEDS / TWENTY YEAR ROADWAY REQUIREMENTS**  
Page 9 of 19

Facility Adopted 10/12/10 Effective 12/27/10	Limits	Jur	Current Year Std	Five Year Std	Twenty Year Std	Twenty Year Functional Classification	Twenty Year # of Lanes	Twenty Year ROW Needs (width in ft)
	Harbour Parkway							
Dam Road	SR 64 – University Parkway	MC	N/A	N/A	C	Collector	4	120
DD Road	SR 62 - CR 675	MC	N/A	N/A	D	Collector	2	120
	CR 675 – Rye Rd	MC	N/A	N/A	D	Collector	4	120
DeSoto Memorial Hwy	17 <sup>th</sup> Ave NW – DeSoto National Park	MC	D	D	D	Collector	2	84
Dickey Road	US 301 – Spencer Parrish Rd	MC	N/A	N/A	D	Collector	4	120
Duette Rd	SR 64 – SR 62	MC	C	C	C	Collector	2	100
EE Road	Carter Rd – Sawgrass Rd	MC	N/A	N/A	D	Collector	2	84
El Conquistador Pkwy	75 <sup>th</sup> St W – 47 <sup>th</sup> St W	MC	D	D	D	Arterial	4	120
	47 <sup>th</sup> St W – 34 <sup>th</sup> St W	MC	D	D	D	Arterial	4	120
Ellenton Gillette Rd	US 301 – Memphis Rd/17 <sup>th</sup> St E	MC	D	D	D	Arterial	2	120
	Memphis Rd/17 <sup>th</sup> St E – Mendoza Rd/37 <sup>th</sup> St E	MC	D	D	D	Arterial	2	120
	Mendoza Rd/37 <sup>th</sup> St E -49 <sup>th</sup> Street E	MC	D	D	D	Arterial	2	120
	49 <sup>th</sup> Street E – I-275	MC	D	D	D	Arterial	6	150
	I-275 – Moccasin Wallow Rd	MC	D	D	D	Arterial	6	150
Erie Road	69 <sup>th</sup> St E - US 301 (Ellenton)	MC	D	D	D	Collector	4	120
	69 <sup>th</sup> St E – US 301 (Parrish)	MC	D	D	D	Collector	4	120
FF Road	Sawgrass Rd – Ft. Hamer Rd.	MC	N/A	N/A	D	Collector	4	120
	Ft. Hamer Rd. – US 301	MC	N/A	N/A	D	Collector	4	120
Florida Blvd	34 <sup>th</sup> St W – 26 <sup>th</sup> St W	MC	D	D	D	Collector	2	84

Up to an additional 24' of right-of-way shall be required at the intersection of two or more thoroughfare roadways when turn lanes are necessary. Said right-of-way shall run for a depth/distance equal to the potential commercial node depth (800'-1000' depending on the future land use category). Additional right of way shall be required when intersection realignments are necessary for public safety such as removing offsets, correcting misalignments or mitigating unsafe sight conditions or upon finding the additional right of way is needed for another public purpose. Roadways identified on the Future Traffic Maps (5B, 5C and 5D) with notation such as "AA", "BB", "CC", etc. will be assigned a street or road name at the appropriate time by the Planning Department – Addressing Division

See Attached Addendum for thoroughfares that shall not have an entitlement for commercial node designation.

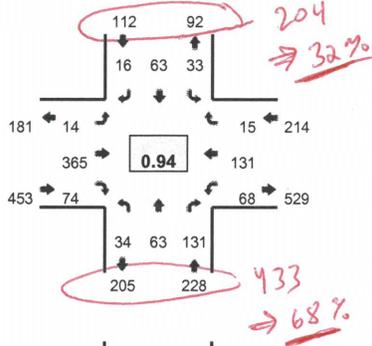
Type of peak hour being reported: Intersection Peak

Method of data collection: Peak Jam Total Entry Counts

First Floor, Chambers 9:00 AM

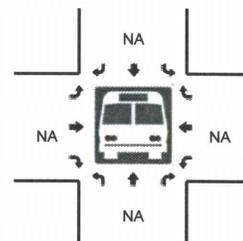
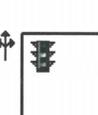
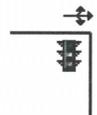
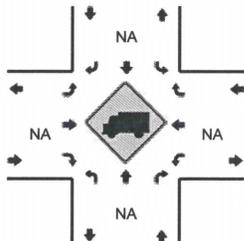
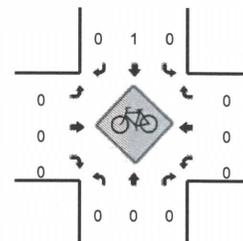
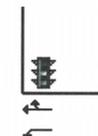
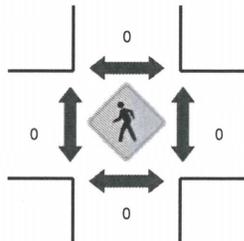
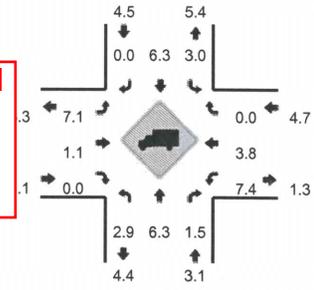
LOCATION: Ellenton Gillette Rd -- 69th St E  
CITY/STATE: Palmetto, FL

QC JOB #: 12737802  
DATE: Tue, Jul 08 2014



Peak-Hour: 5:00 PM -- 6:00 PM  
Peak 15-Min: 5:00 PM -- 5:15 PM

Approach vols for turn lane eval  
(with PSCF = 1.20):  
NB = 246 vph  
SB = 134 vph



15-Min Count Period Beginning At	Ellenton Gillette Rd (Northbound)					Ellenton Gillette Rd (Southbound)					69th St E (Eastbound)					69th St E (Westbound)					Total	Hourly Totals
	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*		
4:00 PM	6	15	25	0	10	5	10	4	0	0	1	43	3	0	7	14	29	3	0	0	175	
4:15 PM	4	15	18	0	14	7	11	1	0	1	3	52	13	0	1	18	26	1	0	3	188	
4:30 PM	4	8	16	0	10	13	24	3	0	2	2	63	9	0	1	23	26	4	0	2	210	
4:45 PM	3	9	16	0	13	9	11	1	0	0	9	60	7	0	1	14	27	6	0	0	186	759
5:00 PM	12	20	23	0	12	14	21	1	0	2	6	68	18	0	6	19	43	2	0	1	268	852
5:15 PM	6	10	20	0	14	6	13	2	0	4	4	112	16	0	2	21	27	5	0	0	262	926
5:30 PM	2	18	19	0	14	7	14	3	0	3	2	99	10	0	4	14	32	2	0	0	243	959
5:45 PM	14	15	21	0	8	6	15	1	0	0	2	86	16	0	2	14	29	5	0	0	234	1007

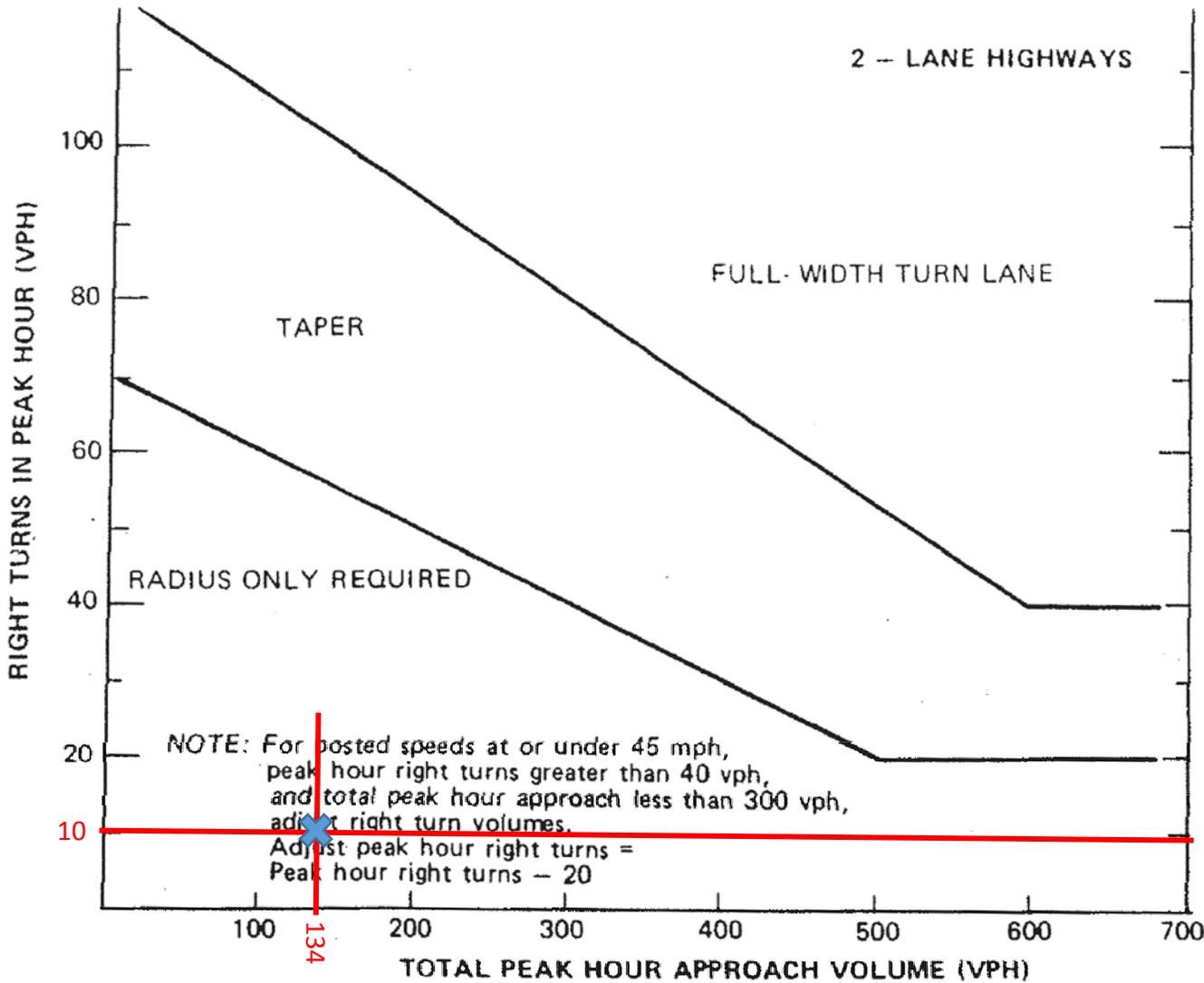
R\* = RTOR

Peak 15-Min Flowrates	Northbound					Southbound					Eastbound					Westbound					Total
	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*	Left	Thru	Right	U	R*	
All Vehicles	48	80	92	0	48	56	84	4	0	8	24	272	72	0	24	76	172	8	0	4	1072
Heavy Trucks	4	4	0			4	8	0			0	8	0			0	12	0			40
Pedestrians		0					0					0					0				0
Bicycles	0	0	0			0	0	0			0	0	0			0	0	0			0
Railroad																					
Stopped Buses																					

Comments:

# Project Driveway and Ellenton Gillette Rd, SBR Right Turn Lane Warrant PM Peak Hour Conditions

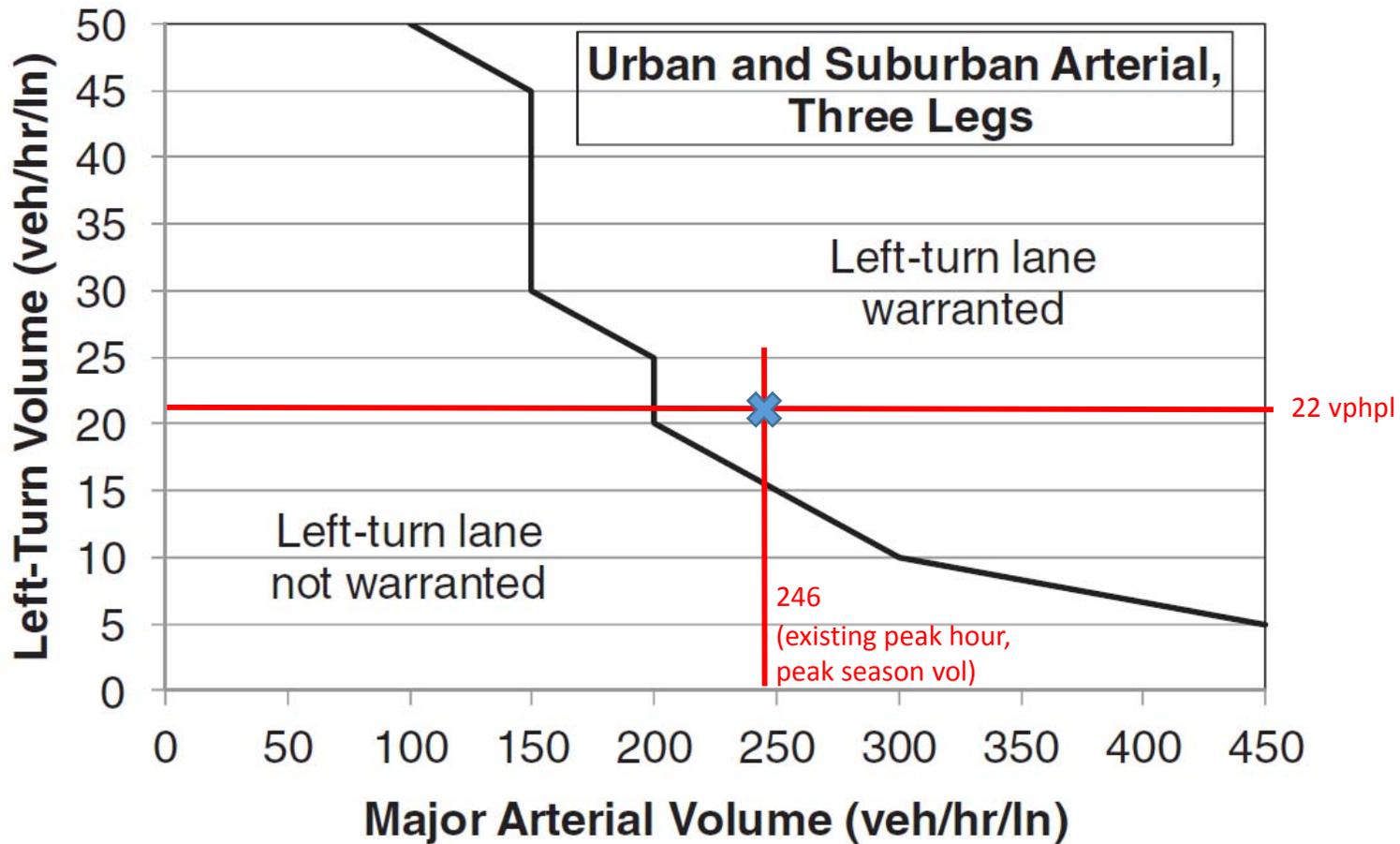
Page 46 of 204



(existing peak-hour,  
peak season vol)

Graph Source: NCHRP Report 279

Project Driveway and Ellenton Gillette Rd, NBL Right Turn Lane Warrant  
PM Peak Hour Conditions



(a) Three Legs

Graph Source: NCHRP Report 745

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Bradenton Herald**  
Jan. 29, 2015  
Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED  
MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II**  
(DTS #20140382)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC/ ALDI - BRADENTON**  
(DTS #20140444)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning\\_agenda@mymanatee.org](mailto:planning_agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.  
MANATEE COUNTY PLANNING COMMISSION

Manatee County Building  
and Development Services  
Department  
Manatee County, Florida  
01/29/2015

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Sarasota Herald-Tribune**

Jan. 29, 2015

Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II (DTS #20140382)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC / ALDI - BRADENTON (DTS #20140444)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning.agenda@mymanatee.org](mailto:planning.agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.

MANATEE COUNTY PLANNING COMMISSION

Manatee County Building and Development Services Department

Manatee County, Florida

Date of pub: January 29, 2015

**INDEX**

- COVER SHEET . . . . .PSP-01
- AERIAL SITE PLAN . . . . .PSP-02
- PRELIMINARY SITE PLAN . . . . .PSP-03
- PRELIMINARY ENGINEERING PLAN . . . . .PSP-04
- PRELIMINARY SECTIONS AND DETAILS . . . . .PSP-05
- TREE PROTECTION PLAN . . . . .PLS-01
- PLANTING PLAN . . . . .PLS-02
- PLANTING NOTES & DETAILS . . . . .PLS-03
- SHEETS INCLUDED

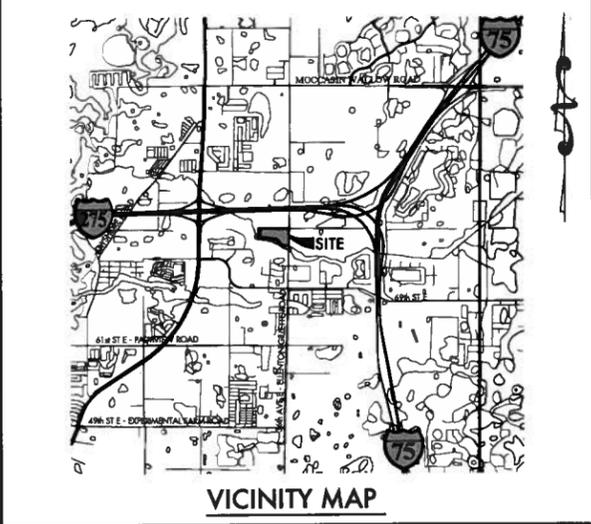
# PRELIMINARY SITE PLAN

## TO SERVE:

# HERON CREEK PHASE II

LOCATED IN:  
SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
MANATEE COUNTY, FLORIDA

ZONING:  
PD-R



**SITE DATA:**

TOTAL PROJECT AREA:	17.70 AC
TOTAL LOTS:	45 LOTS
OPEN SPACE:	
REQUIRED (25%):	4.43 AC.
PROVIDED:	6.63 AC. (37.5%)
NET AREA:	17.17 AC.
(TOTAL AREA - WETLANDS - REC. AREA - CONSERVATION EASEMENTS)	
GROSS DENSITY:	45/17.70 = 2.54 DU/AC.
NET DENSITY:	45/17.17 = 2.62 DU/AC.
(TOTAL LOTS/NET AREA)	
TYPICAL LOT SIZE:	55'x120' (6,600 SF)

SETBACKS:		BUFFERS:	
	MINIMUM REQUIRED		MINIMUM REQUIRED PROVIDED
FRONT:	25'	ROADWAY:	20' 20'
REAR:	15'	SOUTH:	15' 15'
SIDE:	7.5'	NORTH:	15' 15'
WATERFRONT:	30'	EAST:	15' 15'
WETLAND BUFFER:	15'	AGRICULTURAL:	35' 35'

**NOTES:**

1. THE SITE IS CURRENTLY ZONED PD-R, HERON CREEK PD-R-05-281.
2. THE SITE IS DESIGNATED AS FLOOD ZONE A AND AE (EL. 14.4) ON F.L.R.M. PANEL #1208100159E, DATED 3/17/2014, AND IS NOT LOCATED WITHIN A FLOODWAY.
3. THERE ARE NO KNOWN FOUNDATIONS, MOUNDS OR MIDDEN AREAS OF HISTORIC ORIGIN, EXISTING EASEMENTS, PLATTED STREETS LOCATED ON THIS SITE.
4. THERE ARE NO KNOWN WETLANDS UNDER THE JURISDICTION OF SWFWMD AND FDP WITHIN THE BOUNDARIES OF THIS PLAN.
5. THERE IS AN EXISTING WELL WITHIN THE BOUNDARIES OF THIS PLAN AND IT SHALL BE UTILIZED FOR IRRIGATION.
6. COMMON OPEN SPACE SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
7. THE RESIDENCES WILL BE SINGLE FAMILY DETACHED, WITH A MAXIMUM HEIGHT OF 30'.
8. STREET LIGHTS MAY BE INSTALLED AT THE DEVELOPER'S OPTION.
9. THERE WILL BE PROPOSED SIGNS TO IDENTIFY THE SUBDIVISION.
10. INFRASTRUCTURE CONSTRUCTION WILL COMMENCE 2015 AND WILL BE COMPLETED WITHIN THREE YEARS UPON CONSTRUCTION PLAN APPROVAL AND CERTIFICATE OF LEVEL OF SERVICE APPROVAL.
11. SANITARY SEWER AND POTABLE WATER WILL BE CONSTRUCTED TO MANATEE COUNTY STANDARDS AND PUBLICLY MAINTAINED.
12. A 10' MINIMUM UTILITY EASEMENT WILL BE LOCATED ALONG ALL FRONT LOT LINES AND A 5' UTILITY EASEMENT ALONG ALL SIDE AND REAR LOT LINES.
13. SUBDIVISION STREETS WILL BE CONSTRUCTED TO MANATEE COUNTY TRANSPORTATION DEPARTMENT STANDARDS LATEST REVISED DATE AT THE TIME OF CONSTRUCTION DRAWING APPROVAL, UNLESS THE GATED COMMUNITY OPTION IS DESIGNED AT THE TIME OF FINAL SITE PLAN. ROADWAYS CONSTRUCTED WITHIN THE 50 FOOT RIGHT-OF-WAY WILL BE PUBLICLY OWNED AND MAINTAINED, UNLESS GATED WHICH WOULD NECESSITATE PRIVATELY OWNED ROADS.
14. SOLID WASTE DISPOSAL WILL BE PROVIDED BY MANATEE COUNTY BY INDIVIDUAL CAN PICK-UP.
15. STREET TREE LANDSCAPING SHALL BE ACCOMPLISHED THROUGH THE INSTALLATION OF TEN FOOT TALL CANDY TREE HAVING A 2 1/2" CALIPER MIN. EACH LOT SHALL INSTALL ONE TREE PER ROADWAY FRONTAGE. TREES SHALL BE LOCATED WITHIN THE FIRST 25' OF THE FRONT YARD BUT NOT WITHIN THE RIGHT-OF-WAY. PLANTING SHALL TAKE PLACE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR EACH DWELLING UNIT.
16. ALL PROPOSED BUILDING FINISHED FLOOR ELEVATIONS ARE TO BE A MINIMUM OF 21" ABOVE THE CROWN OF THE ADJACENT ROADWAY OR IF WITHIN THE 100 YEAR FLOOD PLAIN, A MINIMUM OF ONE FOOT ABOVE THE 100 YEAR FLOOD ELEVATION.
17. THE SITE IS BORDERS TO THE SOUTH BY THE BUFFALO CANAL, AS ILLUSTRATED.
18. ANY ENCROACHMENT OF THE 100-YEAR FLOOD PLAIN OR FLOOD WAY SHALL BE MITIGATED IN ACCORDANCE WITH FEMA AND MANATEE COUNTY STANDARDS.
19. SEDIMENTATION AND EROSION CONTROL MEASURES WILL BE IN COMPLIANCE WITH SECTION 519, APPENDIX A-19 OF THE MANATEE COUNTY LAND DEVELOPMENT CODE. TO PREVENT SEDIMENTARY RUN-OFF DURING CONSTRUCTION, STATED HAYBALES, STAKED SILT SCREENS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SEDIMENT ACCUMULATIONS GREATER THAN THE LESSER OF 1/2 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
20. NOTIFY MANATEE COUNTY ENVIRONMENTAL MANAGEMENT DEPARTMENT (EMD) WATER QUALITY DIVISION PRIOR TO THE INITIATION OF CONSTRUCTION. A PRE CONSTRUCTION INSPECTION OF THE SEDIMENTATION AND EROSION CONTROL (S&EC) DEVICES MAY BE REQUIRED AND WILL BE THE OPTION OF THE EMD STAFF.
21. NUISANCE EXOTIC SPECIES WILL BE REMOVED FROM ALL UPLAND COMMON AREAS WITHIN THE PLAT BOUNDARY PRIOR TO FINAL PLAT APPROVAL.
22. CONTRACTOR SHALL LOCATE EROSION CONTROL MEASURES (S&EC)S ALONG WETLAND BUFFERS AS IDENTIFIED ON PLAN. EXOTIC NUISANCE SPECIES LOCATED WITHIN WETLAND BUFFERS SHALL BE MANUALLY REMOVED WITH CARE TAKEN TO PROTECT EXISTING NATIVE VEGETATION UNLESS OTHERWISE SPECIFICALLY ADDRESSED ON THE APPROVED PLANS. IN THOSE INSTANCES WHERE ADDITIONAL AREAS OF THE WETLAND BUFFER ARE SO HEAVILY VEGETATED WITH EXOTIC NUISANCE SPECIES AS TO MAKE MANUAL REMOVAL UNFEASIBLE, THE CONTRACTOR SHALL PROVIDE PROJECT ENGINEER AND MANATEE COUNTY ENVIRONMENTAL MANAGEMENT DIVISION SHOP DRAWING SHOWING LIMITS OF ADDITIONAL MECHANIZED CLEARING WITHIN BUFFER, PLANS TO RELOCATE EOWS AND PROPOSED STABILIZATION OF CLEARING WITHIN WETLAND BUFFERS. ALL PROPOSED MODIFICATIONS TO LOCATIONS OF S&EC, SOIL STABILIZATION, SHOP DRAWINGS AND PROCESSING FOR APPROVAL SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
23. ALL THE SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FOOT DESIGN STANDARDS AND THE MANATEE COUNTY TRANSPORTATION DEPARTMENT - HIGHWAY, TRAFFIC AND STORMWATER STANDARDS.
24. TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THE LATEST EDITION OF THE MANATEE COUNTY TRANSPORTATION DEPARTMENT - HIGHWAY, TRAFFIC AND STORMWATER STANDARDS WITHIN THE PUBLICLY MAINTAINED RIGHT-OF-WAY WILL REQUIRE A SIGN AND HARDWARE DIAGRAM AND, IF ACCEPTABLE, AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLANS.
25. ALL CONTOURS/ELEVATIONS UTILIZED ON THESE PLANS ARE NGVD 1988 DATUM. THE CONVERSION FROM THE NAVD 1929 TO THE NGVD 1988 IS -0.96317.
26. THE LOWEST QUALITY WATER AVAILABLE SHALL BE USED FOR IRRIGATION.

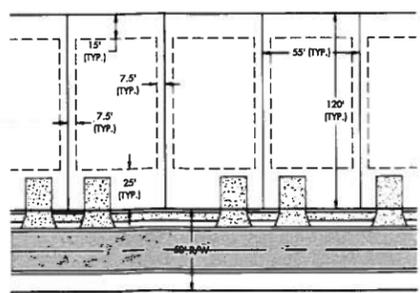
Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**DESCRIPTION:**

COMMENCING AT THE NORTHWEST CORNER OF SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST, THENCE RUN S 0°03'30" E, ALONG THE WEST LINE OF SAID SECTION 29, A DISTANCE OF 1221.01 FEET TO THE POINT OF BEGINNING; THENCE S 89°30'20" E, ALONG THE NORTH LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 60A, PAGE 579, A DISTANCE OF 1346.83 FEET; THENCE S 0°30'27" E, ALONG THE WESTERLY RIGHT OF WAY LINE OF ELLENTON COLLETTE ROAD PER FOOT SECTION 13170-3401, A DISTANCE OF 301.63 FEET; THENCE S 0°44'21" E, ALONG THE WESTERLY MAINTAINED RIGHT OF WAY LINE OF ELLENTON COLLETTE ROAD, A DISTANCE OF 910.53 FEET; THENCE ALONG THE NORTH RIGHT OF WAY LINE OF FRUGO CREEK AS DESCRIBED IN OFFICIAL RECORD BOOK 234, PAGE 468, THE FOLLOWING THREE COURSES: N 89°34'21" E, A DISTANCE OF 327.63 FEET; THENCE N 42°50'12" E, A DISTANCE OF 393.00 FEET; THENCE N 82°03'00" E, A DISTANCE OF 798.55 FEET; THENCE N 01°03'38" E, ALONG THE AFORESAID WEST LINE OF SAID SECTION 29, A DISTANCE OF 399.00 FEET TO THE POINT OF BEGINNING.

LYING AND BEING IN SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

CONTAINING 17.705 ACRES



**TYPICAL LOT LAYOUT**  
N.T.S.

**MANATEE COUNTY BUILDING & DEVELOPMENT SERVICES SIGNATURE BLOCK**

PROJECT NUMBER: \_\_\_\_\_ PROJECT NAME: HERON CREEK II

APPROVAL TYPE: PRELIMINARY SITE PLAN DTS NUMBER: \_\_\_\_\_

PROJECT PLANNER _____	DATE _____
PROJECT ENGINEER _____	DATE _____
CONCURRENCY _____	DATE _____
ENVIRONMENTAL PLANNING _____	DATE _____
ENVIRONMENTAL HEALTH _____	DATE _____
FIRE DISTRICT _____	DATE _____

Attention: The combination of this signed plan and accompanying letter constitutes the complete approval document. Both documents should be provided to interested parties and submitted with any building permit application. There may be other documents, including a CLOS that affects this project approval.

Res'd by OWNER/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

**ZNS ENGINEERING**  
ENGINEERS | PLANNERS | SURVEYORS  
LANDSCAPE ARCHITECTS

301 5th AVENUE DRIVE EAST BRADENTON, FL 34208  
PHONE: 748-8080 FAX: 748-3116

**PREPARED FOR:**  
STEPHENSON MANOR HOMES, INC.  
P.O. BOX 1660  
PALMHEATTO, FL  
34220  
(941) 730-3033

**AUTHORIZED AGENT/PREPARER:**  
ZNS ENGINEERING  
201 5th AVENUE DRIVE EAST  
BRADENTON, FL  
34208  
(941) 748-8080

**PROJECT DATA:**  
HERON CREEK PHASE II  
43710

**REVISIONS**

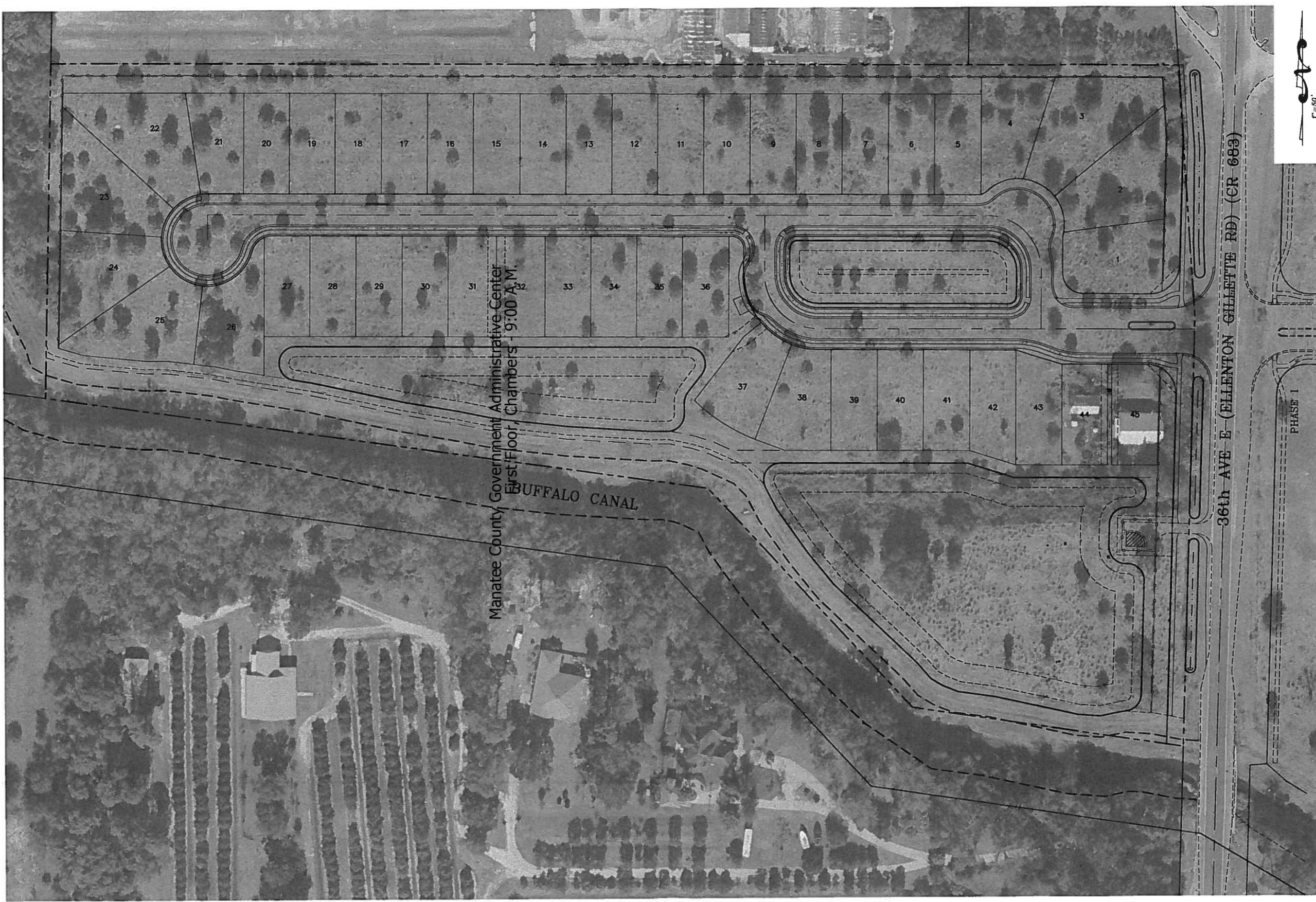
1	RESPONSE TO MANATEE COUNTY COMMENTS	11/13/2014	M.D.
2			
3			
4			
5			
6			

© ZNS ENGINEERING, L.C.  
THIS DOCUMENT IS PROTECTED BY SECTION 88 OF THE UNITED STATES COPYRIGHT ACT. REPRODUCTION OR ALTERATION OF THIS DOCUMENT OR THE INFORMATION CONTAINED HEREIN BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF ZNS ENGINEERING, L.C. CONSULT US IMMEDIATELY SPECIFICALLY TO DETERMINE HOW TO REPRODUCE THIS DOCUMENT IN COMPLIANCE WITH 17 U.S.C. CHAPTER 17.

**LEONARD J. MAJUMAR**  
PROFESSIONAL ENGINEER #23445

SHEET PSP-01

Thu, 13 Nov 2014 - 3:29pm W:\Acad\HERON CREEK PHASE II (43710)\PL\VIC2-VIC2-0100V.dwg



Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

1" = 50'

DESIGNED: J. NAIMA  
DRAWN: M. CORNEL  
DATE: 09/20/14  
JOB NO.: 1352  
SCALE: 1/8" = 1'-0"

**AERIAL**  
FOR  
**HERON CREEK PHASE II**  
LOCATED IN  
SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
MANATEE COUNTY, FLORIDA

© ZNS ENGINEERING, L.C.  
THIS DOCUMENT IS UNLESS OTHERWISE NOTED  
THE PROPERTY OF ZNS ENGINEERING, L.C. AND  
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED  
OR TRANSMITTED IN ANY FORM OR BY ANY MEANS  
ELECTRONIC OR MECHANICAL, INCLUDING  
PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION  
SYSTEM, WITHOUT PERMISSION IN WRITING FROM  
ZNS ENGINEERING, L.C.

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	

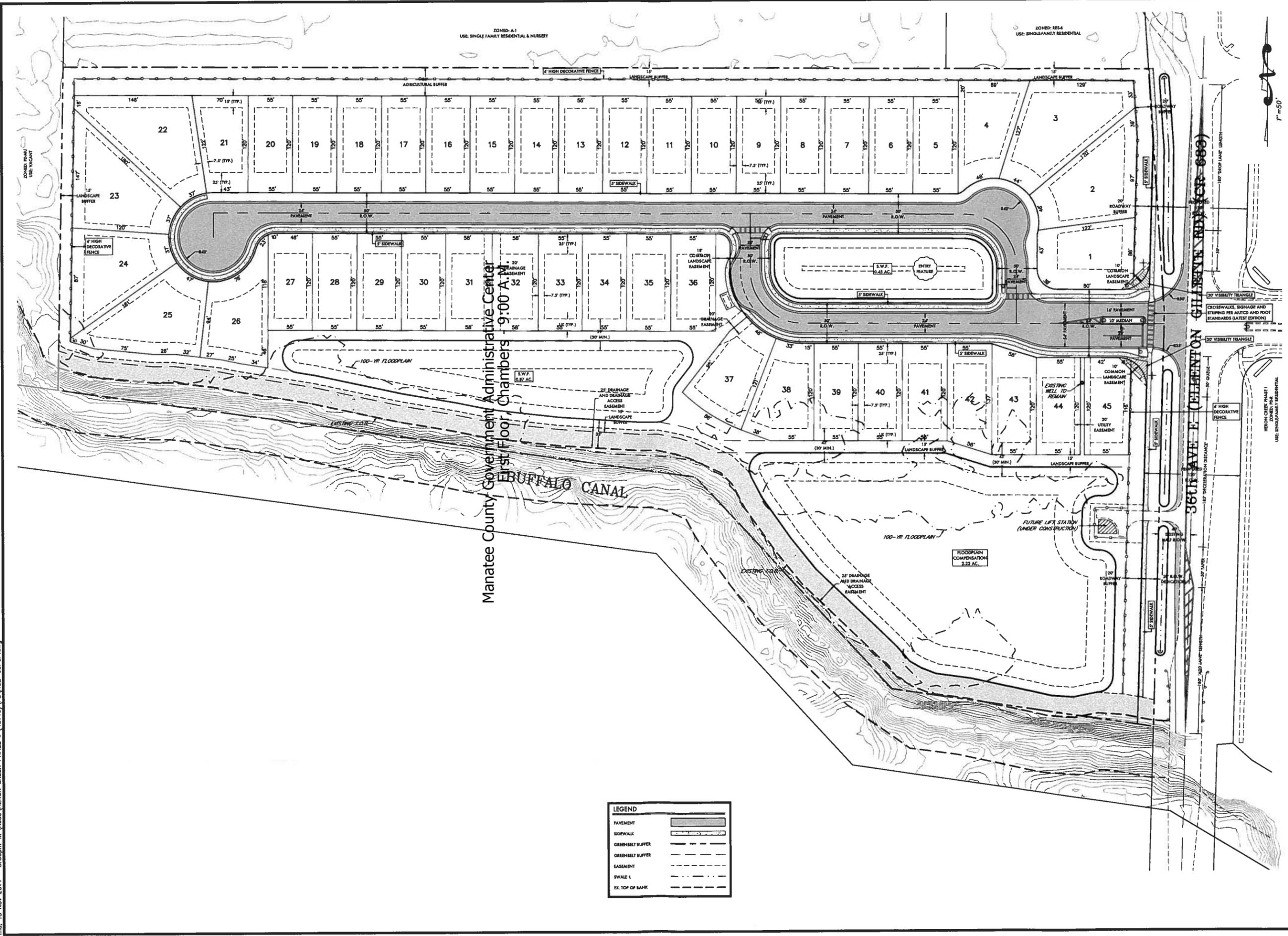


**ZNS ENGINEERING**  
ENGINEERS | PLANNERS | SURVEYORS  
LANDSCAPE ARCHITECTS  
201 88 AVENUE ONE EAST, MANATEE, FL 33801  
PHONE: 888.288.8888 | WWW.ZNS-ENGINEERING.COM

LEONARD J. NAIMA  
PROFESSIONAL SURVEYOR  
LICENSE NO. 12140  
*Leonard J. Naima*  
LANDSCAPE ARCHITECT

SHEET 01 OF 02

Thu, 13 Nov 2014 - 3:30pm W:\Acad\HERON CREEK PHASE II (43710)\P\HC2-03PSP.dwg



Manatee County Government Administrative Center  
1st Floor Chambers 9:00 A.M.

LEGEND	
PAVEMENT	
SIDEWALK	
GREENBELT BUFFER	
GREENBELT BUFFER	
EASEMENT	
SWALE	
EX. TOP OF BANK	

DESIGNED: J. MAJUR  
DRAWN: J. MAJUR  
DATE: 07/2014  
JOB NO.: 13-0001  
SCALE: 1"=60'  
SHEET: 03

LEONARD J. MAJUR  
PROFESSIONAL SURVEYOR  
REG. NO. 22145  
*Leonard J. Majur*

**ZNS ENGINEERING**  
ENGINEERS | PLANNERS | SURVEYORS  
LANDSCAPE ARCHITECTS

201 36 AVENUE EAST, MANATEE, FL 34460  
PHONE: 888.888.8888 | FAX: 888.888.8888

REVISIONS

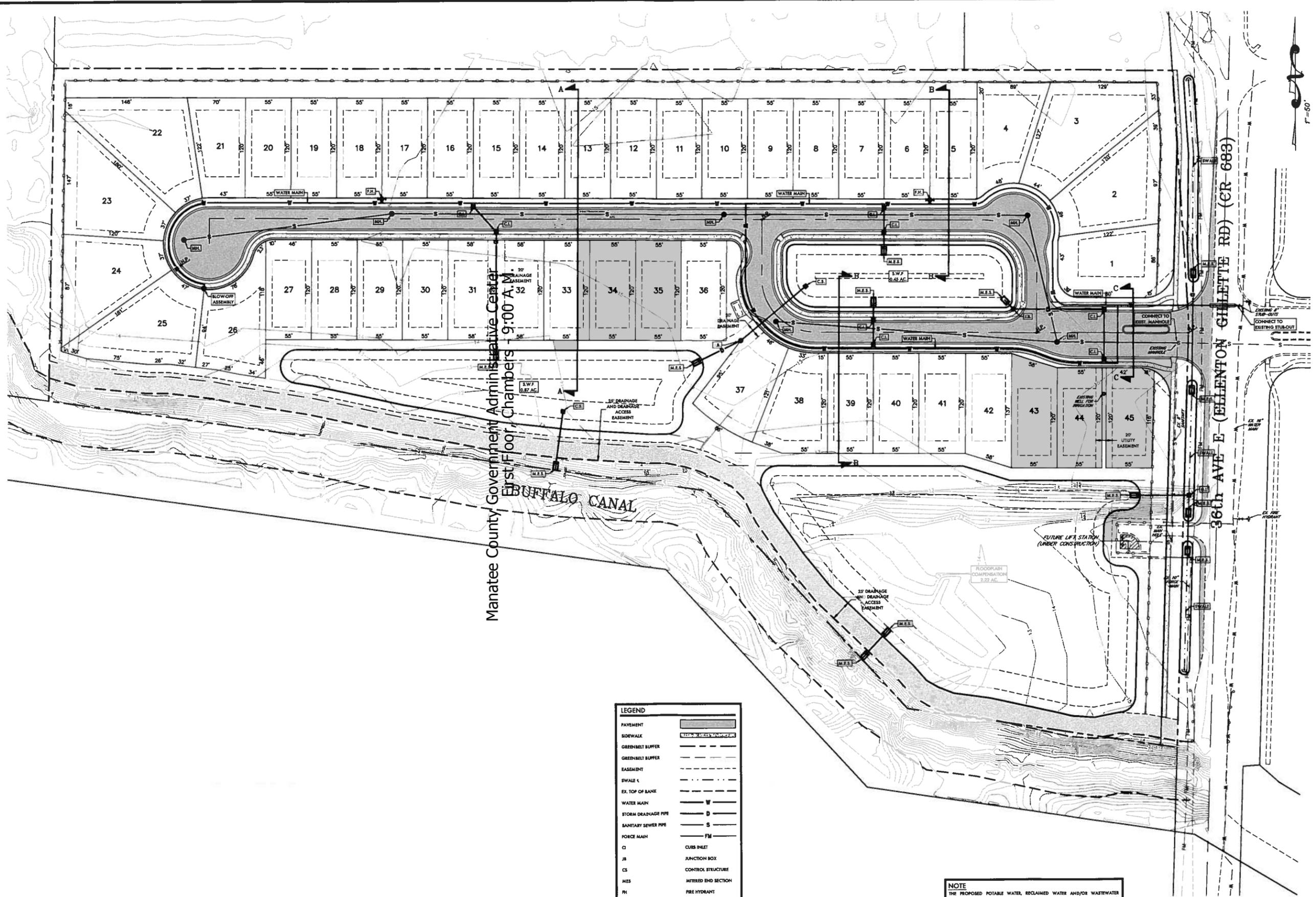
NO.	DATE	DESCRIPTION
1	11/13/2014	RESPONSE TO MANATEE COUNTY COMMENTS
2		
3		
4		
5		
6		
7		

© ZNS ENGINEERING, L.L.C.  
THIS DOCUMENT IS THE PROPERTY OF ZNS ENGINEERING, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ZNS ENGINEERING, L.L.C. THIS DOCUMENT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF ZNS ENGINEERING, L.L.C. TO THE EXTENT PERMITTED BY LAW, THIS DOCUMENT IS TO BE USED IN COMPLIANCE WITH P.S. CHAPTER 119.

PRELIMINARY SITE PLAN  
FOR  
**HERON CREEK PHASE II**  
LOCATED IN  
SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
MANATEE COUNTY, FLORIDA

Page 34 of 70

Thu, 13 Nov 2014 - 3:30pm W:\Acad\HERON CREEK PHASE II (43710)\PL\HC2-04PEP.dwg



Manatee County Government Administrative Center  
 First Floor, Chambers 9:00 A.M.

LEGEND	
PAVEMENT	[Symbol]
SIDEWALK	[Symbol]
GREENBELT BUFFER	[Symbol]
EASEMENT	[Symbol]
SWALE	[Symbol]
EX. TOP OF BANK	[Symbol]
WATER MAIN	[Symbol]
STORM DRAINAGE PIPE	[Symbol]
SANITARY SEWER PIPE	[Symbol]
FORCE MAIN	[Symbol]
CI	CURB INLET
JR	JUNCTION BOX
CS	CONTROL STRUCTURE
MES	MITERED END SECTION
FI	FIRE HYDRANT
MH	MANHOLE
[Symbol]	PROPOSED HIGH POINT

**NOTE**  
 THE PROPOSED POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

DESIGNED: J. NAJAR  
 DRAWN: J. CORNELL  
 DATE: 07/2011  
 JOB NO.: 0572  
 SCALE: 1"=50'  
 SHEET: 02-01

**ZNS ENGINEERING**  
 ENGINEERS | PLANNERS | SURVEYORS  
 LANDSCAPE ARCHITECTS

201 S. AVENUE ONE EAST, WASHINGTON, FL 32808  
 TEL: 407.778.1111  
 FAX: 407.778.1111

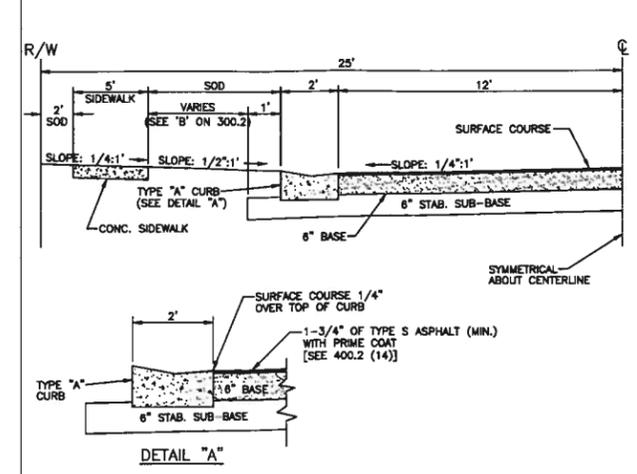
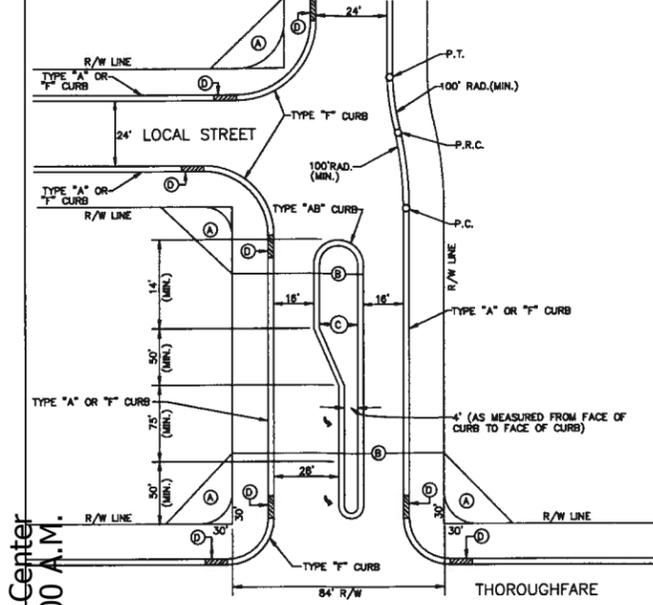
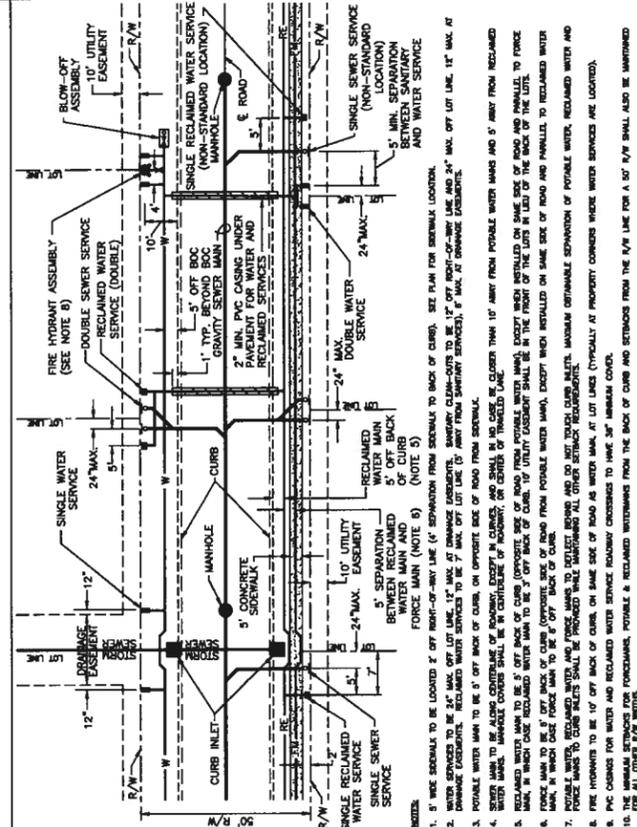
EDWARD J. NAJAR  
 PROFESSIONAL ENGINEER #21448

PRELIMINARY ENGINEERING PLAN  
 FOR  
**HERON CREEK PHASE II**  
 LOCATED IN  
 SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
 MANATEE COUNTY, FLORIDA

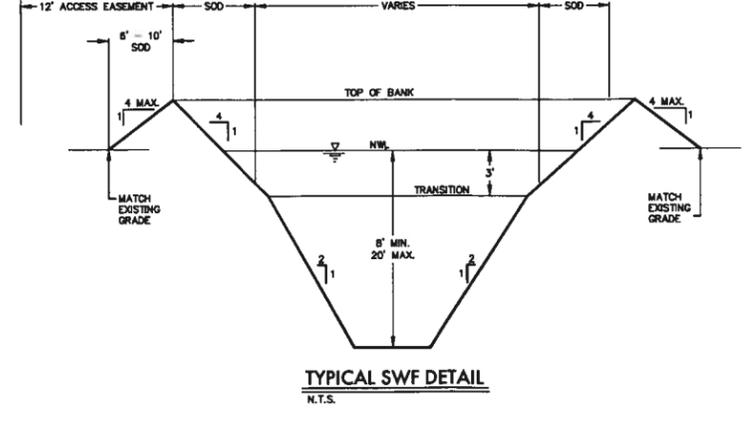
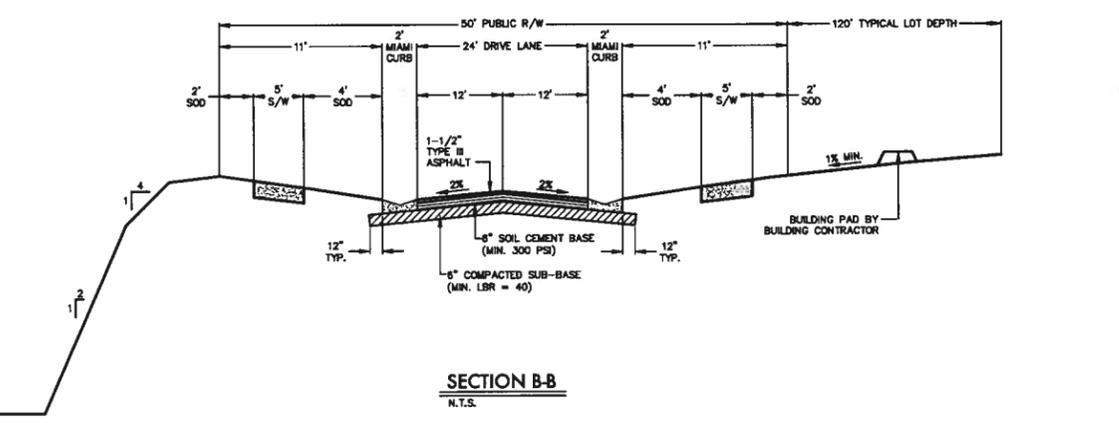
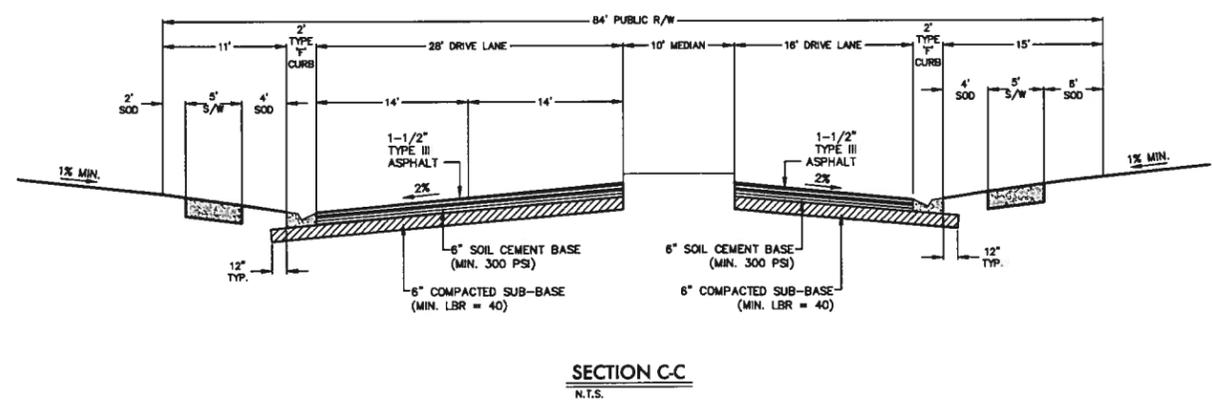
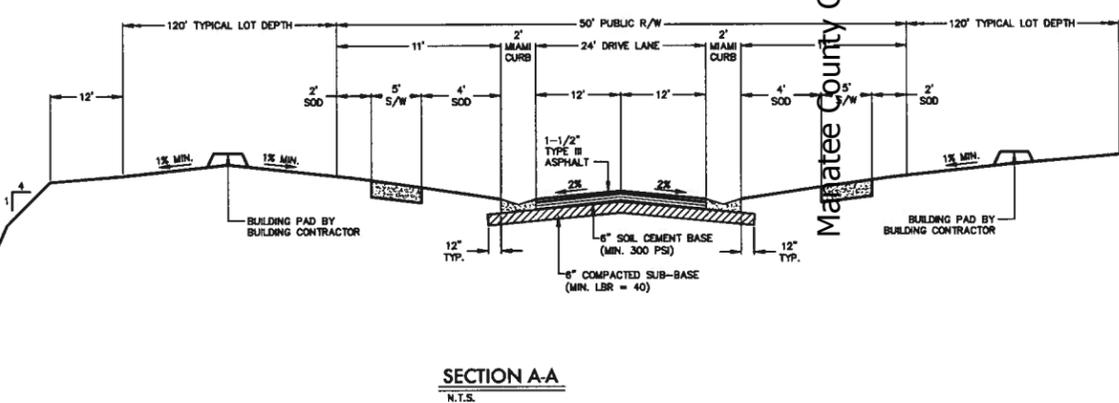
Page 55 of 204

REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO MANATEE COUNTY COMMENTS	11/13/2014
2		
3		
4		
5		
6		
7		



- NOTES:
- Asphaltic concrete surface course shall be laid in two lifts. The first lift shall be 1" Type S-I or S-II. The second lift shall be 3/4" Type S-III. A performance bond shall be required if the second lift is delayed beyond acceptance of the road.
  - Base course shall consist of 4-1/2" compacted sand asphalt base (1200 lbs. stab.) or 6" Calosahatchee shall compacted to 98% AASHTO T-180 density LBR 100 or 8" soil cement.\*
  - 6" stabilized sub-base shall mix blended with sandy sub-grade minimum LBR 40, 98% T180 AASHTO.
  - On new construction, sanitary sewer may be placed on centerline of R/W if desired. All laterals to be installed at the same time as sanitary sewer main line.
  - See section 201.0 for curb and gutter types.
  - No portion of drainage pipe shall be allowed in sub-base. 12" minimum cover is required on storm drain.
  - Sidewalk shall be 1' or 2' inside R/W line, with 2' preferable. To be constructed per section 300.1
  - Laboratory tests are required to substantiate structural section design. Specifications shown on this sheet are minimum requirements.
  - If sidewalks are not required, only 2' of sod is required back of curb. Hydromulch balance of right-of-way.
  - Sodding shall be installed per section 400.1 (B)
- \* Or approved equal, meeting same structural number.



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

LEONARD J. HALLER  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 12345

**ZNS ENGINEERING**

ENGINEERS | PLANNERS | SURVEYORS  
 CONSULTANTS  
 LANDSCAPE ARCHITECTS

201 S. AVENUE SOUTH EAST, MANATEE COUNTY, FLORIDA  
 PHONE: 787.880.0000 | TELEFAX: 787.880.0011

NO.	REVISIONS
1	
2	
3	
4	
5	
6	
7	

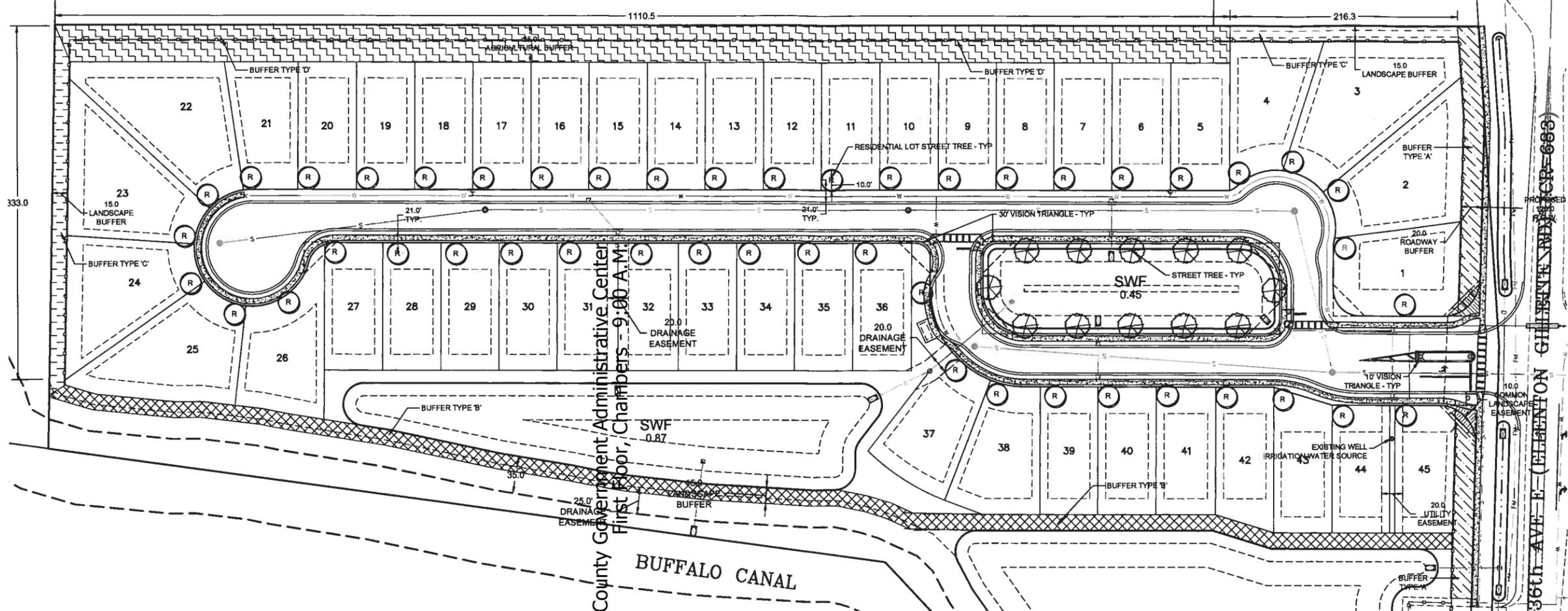
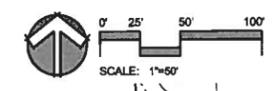
© ZNS ENGINEERING, L.L.C.  
 THIS DOCUMENT IS THE PROPERTY OF ZNS ENGINEERING, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ZNS ENGINEERING, L.L.C. TO REPRODUCE OR TRANSMIT THIS DOCUMENT IN ANY MANNER IS TO BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE PROFESSIONAL SURVEYING ACT OF THE STATE OF FLORIDA.

PRELIMINARY SECTIONS AND DETAILS  
 FOR  
**HERON CREEK PHASE II**  
 LOCATED IN  
 SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
 MANATEE COUNTY, FLORIDA

Page 10 of 11  
 SHEET - 1055

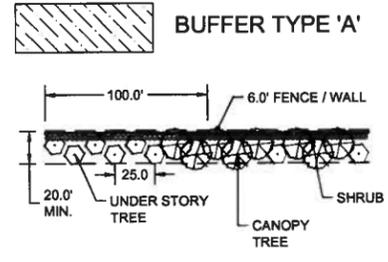
Thu, 13 Nov 2014 - 3:30pm W:\Acad\HERON CREEK PHASE II (43710)\PL\HC2-05DET.dwg





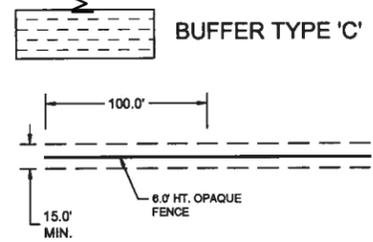
**TYPICAL BUFFER TYPES & REQUIREMENTS**

NOTE: EXISTING WETLANDS, WETLAND BUFFERS, AND UPLAND PRESERVATION AREAS TO REMAIN LOCATED WITHIN REQUIRED BUFFERS SHALL BE USED TO MEET PERIMETER BUFFER REQUIREMENTS.



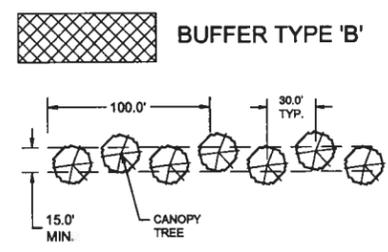
- AS PER SECTION 715.32, AND PER MANATEE COUNTY PDR-06-28/FSP-07-13 APPROVAL LETTER DATED 4/14/08:
1. MINIMUM WIDTH OF 20.0'
  2. 6.0' HIGH CONTINUOUS FENCE / WALL
  3. CONTAIN THE FOLLOWING PER 100 LF OR FRACTION THEREOF:
    - TWO OFFSET ROWS OF UNDER STORY AND CANOPY TREES (MIN. TWO 2.5" CAL., 10' HT & 4' SPR) SPACED 25.0' ON CENTER
    - SHRUBS - MIN. 33 SHRUBS
    - OPACITY TO MEET MANATEE COUNTY STANDARDS

**ROADWAY BUFFER - ELLENTON GILLETTE ROAD**



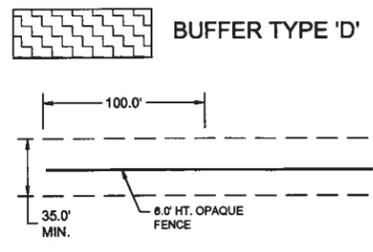
- AS PER SECTION 715.32, PERIMETER SCREENING BUFFERS SHALL MEET THE FOLLOWING CRITERIA:
1. MINIMUM WIDTH OF 15.0'
  2. CONTAIN THE FOLLOWING:
    - 6.0' HEIGHT CONTINUOUS OPAQUE FENCE

**PERIMETER SCREENING BUFFER - OPTION 'C'**



- AS PER SECTION 715.32, RESIDENTIAL GREENBELT BUFFERS SHALL MEET THE FOLLOWING CRITERIA:
1. MINIMUM WIDTH OF 15.0'
  2. CONTAIN THE FOLLOWING:
    - CANOPY TREES - ONE 2.5" CAL., 10' HT & 4' SPR, PER 30' LF OF GREENBELT BUFFER

**RESIDENTIAL GREENBELT BUFFER**



- AS PER SECTION 715.32, PERIMETER SCREENING BUFFERS SHALL MEET THE FOLLOWING CRITERIA:
1. MINIMUM WIDTH OF 15.0'
  2. CONTAIN THE FOLLOWING:
    - 6.0' HEIGHT CONTINUOUS OPAQUE FENCE

**PERIMETER SCREENING BUFFER - OPTION 'C' ADJACENT TO AGRICULTURAL USES**

**PRELIMINARY SITE PLAN NOTES**

1. THIS IS A PRELIMINARY LANDSCAPE PLAN. ADDITIONAL AND MORE SPECIFIED INFORMATION WILL BE PROVIDED AT TIME OF FINAL SITE PLAN SUBMITTAL.
2. INDIVIDUAL LOT STREET TREES SHALL BE INSTALLED BY BUILDER PRIOR TO HOME OCCUPANCY. TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UTILITIES AND ACCESS.
3. RESIDENTIAL LOT STREET TREE LAYOUT REVISED AS PER MANATEE COUNTY ENVIRONMENTAL PLANNING - 1 STREET TREE PER LOT - CORNER LOTS SHALL HAVE 2 STREET TREES (1 PER ROADWAY FRONTAGE). STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER. ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS.
4. IRRIGATION FOR INDIVIDUAL RESIDENTIAL LOT STREET TREES SHALL BE THE RESPONSIBILITY OF THE LOT OWNER.
5. THE IRRIGATION WATER SOURCE SHALL BE EXISTING WELL LOCATED WITHIN EASEMENT BETWEEN LOTS 44 & 45. THERE IS NO RECLAIMED WATER AVAILABLE IN THIS AREA.
6. A 100% AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO SUPPLY WATER TO ALL REQUIRED LANDSCAPE MATERIAL. THE SYSTEM SHALL INCLUDE CONTROLLERS WITH RAIN SENSORS.

**PRELIMINARY SITE PLAN - PLANTING PLAN**  
FOR  
**HERON CREEK PHASE II**  
LOCATED IN  
SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
MANATEE COUNTY, FLORIDA

Page 58 of 207

REVISIONS

1	PSP SUBMITTAL	2016.08.04.04
2	RESPOND TO MC COMMENTS / RESUBMIT	2016.11.13.04
3		
4		
5		
6		
7		

© ZNS ENGINEERING, L.L.C.  
THIS DOCUMENT IS THE PROPERTY OF ZNS ENGINEERING, L.L.C. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF ZNS ENGINEERING, L.L.C. THIS DOCUMENT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROFESSIONAL SERVICES AGREEMENT BETWEEN ZNS ENGINEERING, L.L.C. AND THE CLIENT. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ZNS ENGINEERING, L.L.C. WITH U.S. CHAPTER 119.

DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 07/20/16  
SCALE: 1"=50'  
SHEET: 58

**ZNS ENGINEERING**  
ENGINEERS | PLANNERS | SURVEYORS  
LANDSCAPE ARCHITECTS  
201 W. AVENUE ONE EAST, WASHINGTON, FL 34886 | (904) 747-2314  
FAX: (904) 747-2314

Thu, 13 Nov 2014 3:31pm W:\Acad\HERON\_CREEK\_PHASE\_II\43710\15\HC2-PSP-LS.dwg

**PLANTING GENERAL NOTES**

- LANDSCAPE NOTES ARE ALL INCLUSIVE. ALL QUESTIONS CONCERNING THE LANDSCAPE PLAN, DETAILS, AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (941) 748-8080.
- REVIEW THE GENERAL NOTES, PLANT MATERIAL LIST, PLANS, DETAILS, AND WRITTEN SPECIFICATIONS (IF PROVIDED). THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE LANDSCAPE PLAN AS DRAWN AND DIRECTED BY THE NOTES AND SPECIFICATIONS. CONTACT THE LANDSCAPE ARCHITECT WHEN SIGNIFICANT FIELD CHANGES REQUIRE PLAN REVISIONS.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT COUNT TOTALS IN THE PLANT MATERIALS LIST ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. IMPROVISATIONS MADE BY THE LANDSCAPE CONTRACTOR SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER.
- SOD, MULCH, AND TOPSOIL QUANTITIES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY QUANTITIES NOTED ON THE PLANS ARE FOR REFERENCE ONLY. SODDING OF SWALES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR; HOWEVER, SOD FOR RETENTION AREAS (LAKE BANKS AND DRY RETENTION PONDS) SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- PRIOR TO SUBMITTING THE BID, THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. SEE ENGINEERING (CIVIL) PLANS FOR ADDITIONAL SITE INFORMATION.
- ALL PLANTS FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA NO. 1 QUALITY OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA 2ND EDITION (FEB. 1998 & UPDATED MAY 2008) & AS AMENDED. THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF ALL PLANT MATERIAL SUPPLIED BY THE LANDSCAPE CONTRACTOR. SPECIMEN MATERIAL SHALL BE APPROVED BEFORE INSTALLATION.
- ALL B&B OR "FIELD GROWN" MATERIAL (EXCEPT PALMS) SHALL BE OBTAINED FROM "ROOTS PLUS" CERTIFIED NURSERIES.
- ALL PLANT MATERIAL THAT HAS BEEN FIELD TAGGED BY THE LANDSCAPE ARCHITECT SHALL REMAIN TAGGED UNTIL FINAL ACCEPTANCE OF THE PROJECT. ALL MATERIAL NOT TAGGED BY LANDSCAPE ARCHITECT IS SUBJECT TO REJECTION. REJECTED PLANT MATERIAL SHALL BE REPLACED AT CONTRACTOR'S EXPENSE UNTIL ACCEPTABLE MATERIAL IS PROVIDED.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS AND TREES FROM FALLING OR BEING BLOWN OVER, AND TO REPLACE ALL PLANTS WHICH ARE DAMAGED AT NO ADDITIONAL COST TO THE OWNER FOR SUSTAINED WINDS OF LESS THAN 65 MPH.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND CONTINUE UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE: PRUNING, MULCHING, WEEDING, REPLACEMENT OF STICKS OR DEAD PLANTS, WATERING (INCLUDING THE COST OF EQUIPMENT SUCH AS A WATER TRUCK), AND ANY OTHER CARE WHICH IS NECESSARY FOR PROPER GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE (1) YEAR FOLLOWING FINAL ACCEPTANCE BY THE OWNER. RELOCATED MATERIALS AND OWNER SUPPLIED MATERIALS ARE EXEMPT. DURING THE WARRANTY PERIOD THE LANDSCAPE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR THEFT, VANDALISM, OR UNUSUAL ACTS OF GOD.
- ALL TRIMMING OF EXISTING TREES SHALL BE CONDUCTED OR OVERSEEN BY A CERTIFIED ARBORIST.
- TOPSOIL MATERIAL, WHEN CALLED FOR ON THE PLANT LIST, SHALL BE FREE OF STICKS, STONES AND DEBRIS LARGER THAN 1" IN DIAMETER, AS WELL AS ANY OTHER MATERIAL THAT MAY BE TOXIC OR OTHERWISE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE FERTILE, AND HAVE A PH LEVEL BETWEEN 6.5 AND 7.5.
- ALL BACKFILL SOIL MIXTURES SHALL CONTAIN BEST ON-SITE TOPSOIL, 20% PEAT, AND AMENDMENTS AS PER NOTES AND DETAILS. PH LEVELS SHALL BE BETWEEN 6.5 AND 7.5. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE PROPER PH LEVEL. MIX ORGANIC SOIL AMENDMENTS THOROUGHLY WITH THE NATIVE SOIL BEFORE BACKFILLING PLANTS.
- STAKE ALL TREES. SEE TREE PLANTING DETAIL.
- PROVIDE ARBORGARD® FLEXIBLE BARK PROTECTORS (MODEL A00-4) AROUND BASE OF TRUNK FOR ALL SINGLE TRUNK TREES FREESTANDING IN SODDED AREAS. THEY ARE AVAILABLE AT ARBORIST SUPPLY HOUSE, INC., (FT. LAUDERDALE, FL: 1-800-740-0628).
- ALL TREES SHALL BE PLANTED WITH MYCOR TREE SAVER (3oz PER 1" CAL.) AND PHC HEALTHY START MACRO TABLETS (21 GRAM - 4 PER 1" CAL.) - SEE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION METHOD (PLANT HEALTH CARE, INC. 941-751-0455, JOHN DEERE LANDSCAPES 941-721-8882, SOUTHEAST PARTNERS 230-267-0166, PROFESSIONAL SUPPLY (561) 290-4611 AND UNIVERSAL SUPPLY 954-079-0060) - OR APPROVED EQUAL.
- ALL PALMS SHALL BE PLANTED WITH MYCOR PALM SAVER - SEE MANUFACTURERS SPECIFICATIONS FOR APPLICATION RATE AND INSTALLATION METHOD ( PLANT HEALTH CARE, INC. 1-800-421-0051) - OR APPROVED EQUAL.
- ON NON-IRRIGATED SITES OR AREAS, TREES AND PALMS SHALL ALSO RECEIVE TERRA-SORB HYDRO GEL (PLANT HEALTH CARE INC.) AS PER MANUFACTURER SPECIFICATIONS - OR APPROVED EQUAL.
- ALL SHRUBS SHALL RECEIVE 1/2 LB. OF MILORGANITE PER FOOT OF HEIGHT; TREES SHALL RECEIVE 5 LBS. PER INCH OF CALIPER; AND GROUND COVERS SHALL BE FERTILIZED AS PER LABEL INSTRUCTIONS - OR APPROVED EQUAL. IN ALL INSTANCES FERTILIZER SHALL BE MIXED IN EVENLY WITH BACKFILL MATERIAL.
- ALL SHRUBS AND GROUNDCOVER SHALL ALSO RECEIVE PHC HEALTHY START MACRO TABLETS (21 GRAM - 1 PER 1 GAL., 3 PER 5 GAL., 4 PER 10 GAL., AND 5 PER 15 GAL.). INSTALL AS PER MANUFACTURERS DIRECTIONS.
- ONLY PRUNE TREES AND SHRUBS TO REMOVE DEAD OR DAMAGED FOLIAGE - OR TO COMPENSATE FOR ROOT LOSS CAUSED BY TRANSPANTING. MAKE CERTAIN TO RETAIN THE PLANT MATERIAL'S NATURAL FORM WHEN PRUNING. NEVER CUT THE CENTRAL GROWTH LEADER OF A TREE, OR INSTALL ANY TREE THAT HAS HAD THE CENTRAL GROWTH LEADER CUT. ALL TREES SHALL BE TRIMMED FOR CLEAR TRUNK UNLESS OTHERWISE SPECIFIED.
- WHERE PLANTING AREAS ABUT PAVEMENT, FINISHED SOIL LEVEL SHALL BE THREE INCHES (3") BELOW TOP OF PAVEMENT.
- ALL PLANTING AREAS SHALL RECEIVE MULCH AT THE RATE OF 1 CUBIC YARD PER 110 SF. OF AREA (THIS EQUALS A 3" MULCH DEPTH) - UNLESS OTHERWISE NOTED. SEE PLANT MATERIALS LIST FOR SPECIFICATIONS. KEEP MULCH SIX INCHES (6") BACK FROM ALL TREE TRUNKS.
- SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED AT TIME OF INSTALLATION. ALL SOD SHALL BE FREE OF NUISANCE SPECIES, INVASIVE AND EXOTIC WEEDS OR THEIR SEED.
- THE LANDSCAPE CONTRACTOR SHALL CALL 811 OR WWW.CALL811.COM TO FIELD LOCATE EXISTING UTILITIES AND SECURE A PERMIT NUMBER PRIOR TO BEGINNING WORK. USE DUE CAUTION AROUND THE UTILITIES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ACTIVITIES WITH ALL OTHER CONTRACTORS ON THE JOB SITE.
- ALL LANDSCAPE MATERIALS INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED TO MEET STATE AND LOCAL CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING STRUCTURES AND VEGETATION ON SITE THAT IS TO REMAIN AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED BY HIS OPERATIONS.
- THE JOB SITE IS TO REMAIN ORGANIZED. EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

**PLANTING DIRECTIONS**

- EXCAVATE PLANTING HOLE AND SET TREE IN PIT AS SPECIFIED.
- SET TOP-MOST ROOT IN THE ROOT BALL 2 INCHES (2") HIGHER THAN FINISH GRADE. PLUMB THE TREE SO THE TRUNK IS VERTICAL.
- BACKFILL AS DIRECTED BELOW.
- INSTALL 3" SOIL RING FOR HAND WATERING.
- PROVIDE 4" DIA. MULCH RING FOR TREES IN SOD AREAS.
- PRUNE DEAD AND DAMAGED BRANCHES IN KEEPING WITH GOOD HORTICULTURAL PRACTICES. RETAIN NATURAL FORM OF TREE. DO NOT CUT CENTRAL LEADER. PRUNE LIMBS ADJACENT TO WALKS AND CURBS TO PREVENT INJURY TO PEDESTRIANS AND BICYCLE RIDERS.

**STAKING DIRECTIONS (TREES 0"-2" CAL.)**

- ALL TREES TO BE STAKED UNLESS OTHERWISE NOTED IN GENERAL OR SPECIFIC NOTES.
- STAKE TREES ACCORDING TO CALIPER SIZE OR (UNLESS OTHERWISE SPECIFIED) 0-1": 1 VERTICAL STAKE. TIE TRUNK TO STAKE WITH GREEN NURSERY TAPE. 1"-2": 2 VERTICAL STAKES. SECURE WITH GUY AS SHOWN.

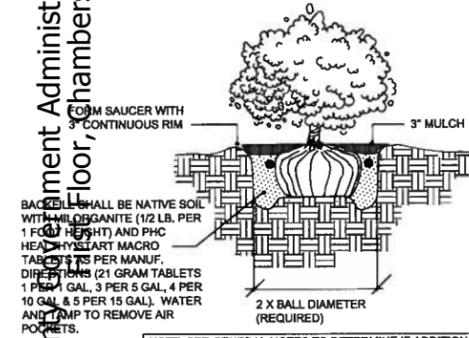
**DUCKBILL ANCHOR DIRECTIONS (TREES > 2" CAL.)**

- 2"-3" CALIPER TREES: MODEL 40 DTS KIT D = 18-20"
- 3"-6" CALIPER TREES: MODEL 68 DTS KIT D = 2"-2-1/2"
- 6"-10" CALIPER TREES: MODEL 88 DTS KIT D = 18-20"

NOTE: SEE NOTES TO DETERMINE IF ORGANIC OR OTHER UNLISTED SOIL AMENDMENTS ARE REQUIRED AND PLANT MATERIALS LIST FOR STAKING AND TREEWRAP REQUIREMENTS.

**TREE PLANTING DETAIL**

NOT TO SCALE



NOTE: SEE GENERAL NOTES TO DETERMINE IF ADDITIONAL SOIL AMENDMENTS ARE REQUIRED.

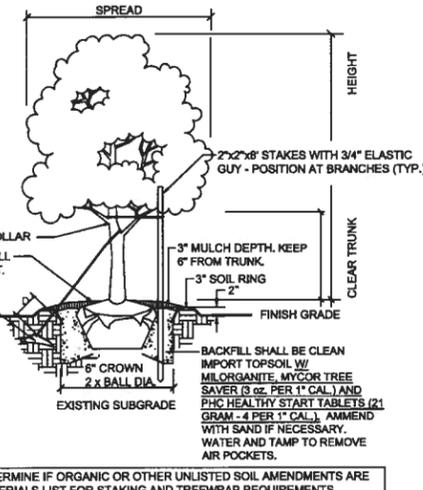
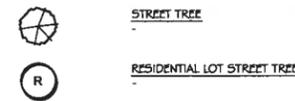
**SHRUB & GROUNDCOVER PLANTING DETAIL**

NOT TO SCALE

**RESIDENTIAL LOT STREET TREES**

- LAYOUT AS PER MANATEE COUNTY ENVIRONMENTAL PLANNING REQUEST.
- RESIDENTIAL LOTS 60' WIDTH OR LESS - 1 STREET TREE PER LOT & CORNER LOTS SHALL HAVE 2 STREET TREES (1 PER ROADWAY FRONTAGE).
- STREET TREES SHALL BE PLANTED A MINIMUM OF 10' BEHIND BACK OF SIDEWALK OR RIGHT-OF-WAY, WHICHEVER IS CLOSER (21.0' BEHIND BACK OF CURB).
- ACTUAL TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY ACCESS AND UTILITIES.

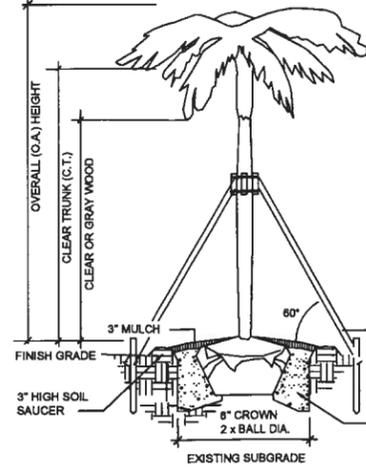
**CONCEPT PLANT SCHEDULE**



NOTE: SEE NOTES TO DETERMINE IF ORGANIC OR OTHER UNLISTED SOIL AMENDMENTS ARE REQUIRED AND PLANT MATERIALS LIST FOR STAKING AND TREEWRAP REQUIREMENTS.

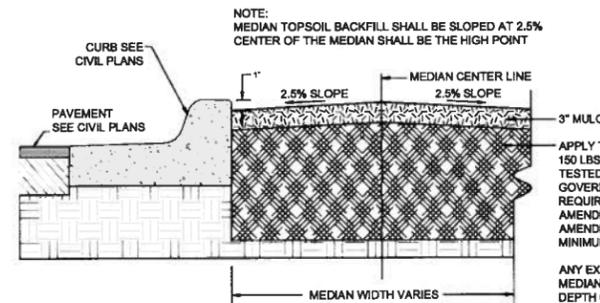
**PALM PLANTING DETAIL**

NOT TO SCALE



- IF BURLAP IS PRESENT ROLL TO 1/3 OF FABRIC INTO PIT.
- ROOTBALL SHALL BE INSTALLED 2" ABOVE ADJACENT FINISH GRADE AND PLUMB.
- FRONDS SHALL BE TIED UP FOR PROTECTION OF BUDS. LARGE DATE PALMS AND ALL FAN PALMS SHALL REMAIN TIED FOR 1 MONTH MINIMUM. PALMS WITH DAMAGED BUDS WILL NOT BE ACCEPTED.
- TRUNK SHALL BE FREE OF SCARS, BURNS, HOLES, ETC.
- ROOTBALL SHALL HAVE 18" MINIMUM RADIUS FROM TRUNK.
- INSTALL 4" DIAMETER MULCH RING AROUND ALL PALMS IN SOD AREAS.

- STAKING DIRECTIONS:**
- (3) 2"x4"x8" BRACES 120° APART NAILED TO TOPSOIL AMENDED WITH MYCOR PALM SAVER AND SAND, IF REQUIRED, FOR DRAINAGE. WATER AND TAMP TO REMOVE AIR POCKETS.



NOTE: MEDIAN TOPSOIL BACKFILL SHALL BE SLOPED AT 2.5% CENTER OF THE MEDIAN SHALL BE THE HIGH POINT

APPLY TERA-SORB AT THE RATE OF 150 LBS PER ACRE. SOIL SHALL BE TESTED TO MEET LOCAL GOVERNMENTAL AND SPECIFIED REQUIREMENTS. ADD ADDITIONAL AMENDMENTS AS REQUIRED. TILL ALL AMENDMENTS INTO THE SOIL 4" MINIMUM DEPTH.

**TYPICAL MEDIAN CROSS SECTION**

NOT TO SCALE

Thu, 13 Nov 2014 - 3:31pm W:\Acad\HERON CREEK PHASE II (43710)\S\HC2-PSP-13.dwg

NUMBER L. BECKER  
LANDSCAPE ARCHITECT  
#0100

**ZNS ENGINEERING**  
ENGINEERS | PLANNERS | SURVEYORS  
ARCHITECTS  
LANDSCAPE ARCHITECTS



REVISIONS	DATE	BY
1	2014.08.04	KLB
2	2014.11.13	KLB
3		
4		
5		
6		
7		

PERMANENT SITE PLAN - PLANTING NOTES & DETAILS  
FOR  
**HERON CREEK PHASE II**  
LOCATED IN  
SECTION 29, TOWNSHIP 33 SOUTH, RANGE 18 EAST  
MANATEE COUNTY, FLORIDA

DESIGNED BY: KLB  
DRAWN BY: KLB  
DATE: 07/20/14  
JOB NO.: 43710  
SCALE: 1/8"=1'-0"  
SHEET: 15/30

February 12, 2015 Planning Commission Agenda  
Agenda Item #5

Subject

PDC-14-23(Z)(P)-DTS20140302-University Parkway Shoot Straight-Quasi-Judicial-Shelley Hamilton

Briefings

None

Contact and/or Presenter Information

Contact and Presenter:

Shelley Hamilton

Principal Planner

941 748 4501 ext. 6863

Contact:

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

RECOMMENDED MOTION:

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be CONSISTENT with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend ADOPTION of Manatee County Zoning Ordinance No. PDC-14-23(Z)(P); APPROVAL of the Preliminary Site Plan with Stipulations #A-1 through A-3, #B-1 through B-3, #C-1 through C-3, #D-1 and D-2, and #E-1 through E-4; GRANTING Special Approval for 1) a project in the MU (Mixed Use) Future Land Use Category, and 2) a project within an Entranceway, as recommended by staff.

Enabling/Regulating Authority

Manatee County Comprehensive Plan

Manatee County Land Development Code

Background Discussion

- The applicants have filed this application to rezone the subject property from PDR (Planned Development Residential) to PDC (Planned Development Commercial) to adopt a new Preliminary Site Plan (PSP) for an Indoor Firing Range (University Parkway Shoot Straight). The subject property contains 9.78 + acres located on University Parkway, approximately .43 + miles east of University Parkway.
- The property was rezoned in 1993 [PDR-92-11(Z)(P)] from A-1 (Suburban Agriculture) to PDR (Planned Development Residential) along with a Preliminary Site Plan to allow a House of Worship. At that time, a stipulation was granted to allow a right-in/right-out driveway onto University Parkway, only until such time that Broadway Avenue was constructed to provide another legal means of access. This stipulation will carry over to any approval for the proposed rezoning to PDC as Broadway Avenue still is not constructed.
- The total open space calculation proposed is 35% (2.93 + acres).
- Special Approvals are needed to allow:
  - 1) Any use in the MU Future Lane Use category; and
  - 2) Adjacency to an "entranceway."
- The site is in Flood Zones "X," and "A."
- Water and Sanitary Sewer will be provided; and
- Staff recommends approval with 15 stipulations.

County Attorney Review

Other (Requires explanation in field below)

Explanation of Other

Sarah Schenk reviewed and responded by email on January 14, 2015

Reviewing Attorney

Schenk

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

- Attachment: Map FLU-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf
- Attachment: Map Zoning-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15 PC.pdf
- Attachment: Map Aerial 1-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf
- Attachment: Map Aerial 2-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf
- Attachment: Staff Report-PDC-14-23(Z)(P)-University Parkway Shoot Straight-02-12-15PC.pdf
- Attachment: Affidavit of Ownership-UIniversity Parkway Shoot Straight-02-12-15PC.pdf
- Attachment: Traffic Impact Statement-Shoot Straight-02-12-15PC.pdf
- Attachment: Copy of Newspaper Advertising - University Parkway Shoot Straight - PDC-14-23(Z)(P)-

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Bradenton Herald.pdf

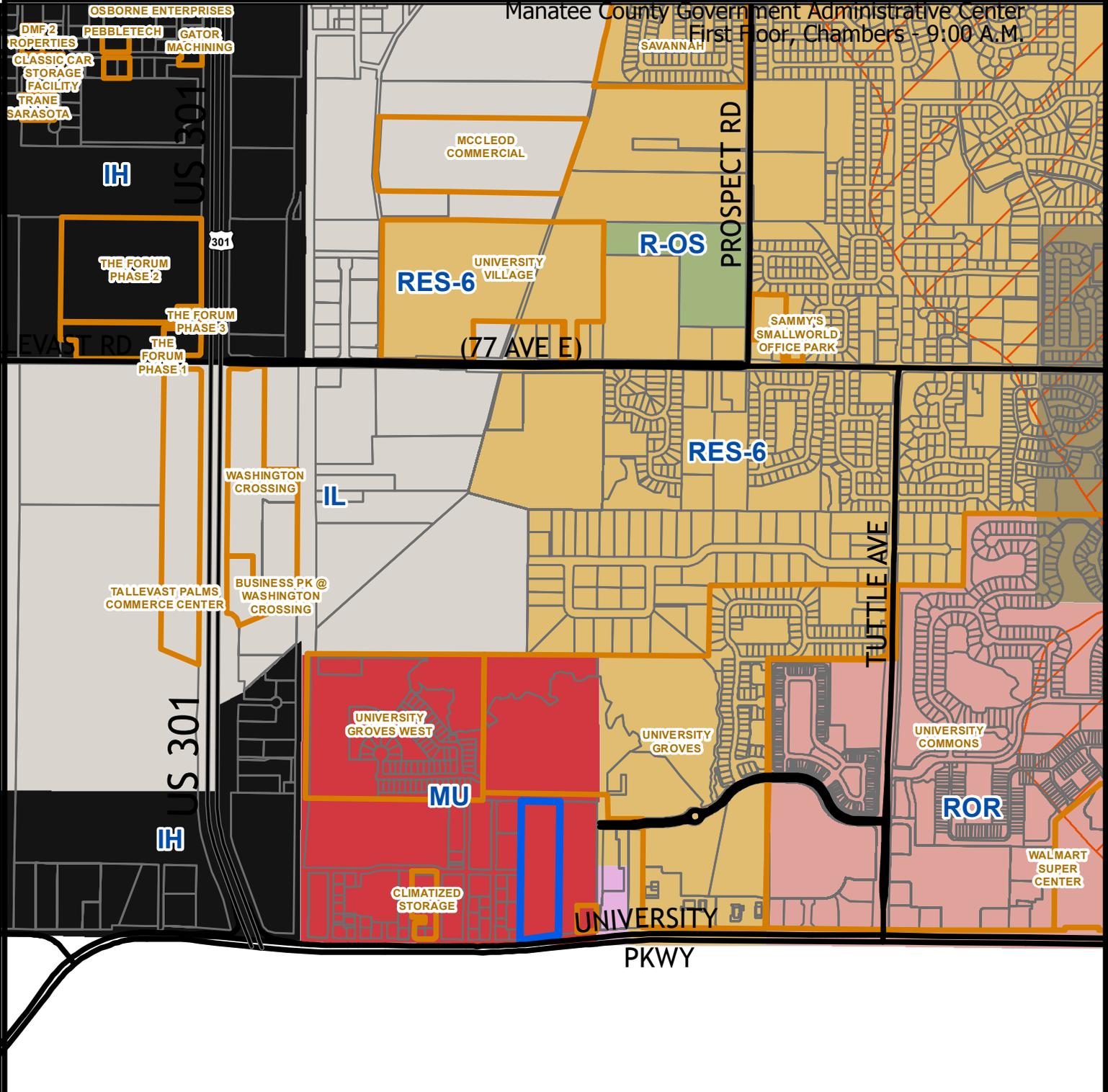
Attachment: Copy of Newspaper Advertising -University Parkway Shoot Straight - PDC-14-23(Z)(P) -

Sarasota Herald Tribune.pdf

Attachment: Preliminary Site Plan-University Parkway Shoot Straight-02-12-15PC.pdf

# FUTURE LAND USE

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 2039410051

Project Name: University Pkwy Shoot Straight  
 Project #: PDC-14-23 (Z)(P)  
 DTS#: 20140302  
 Proposed Use: Commercial

S/T/R: Sec 3 Twn 35 Rng 16  
 Acreage: ± 9.7  
 Existing Zoning: PD-R  
 Existing FLU: MU  
 Overlays: NONE  
 Special Areas: NONE

Page 63 of 204

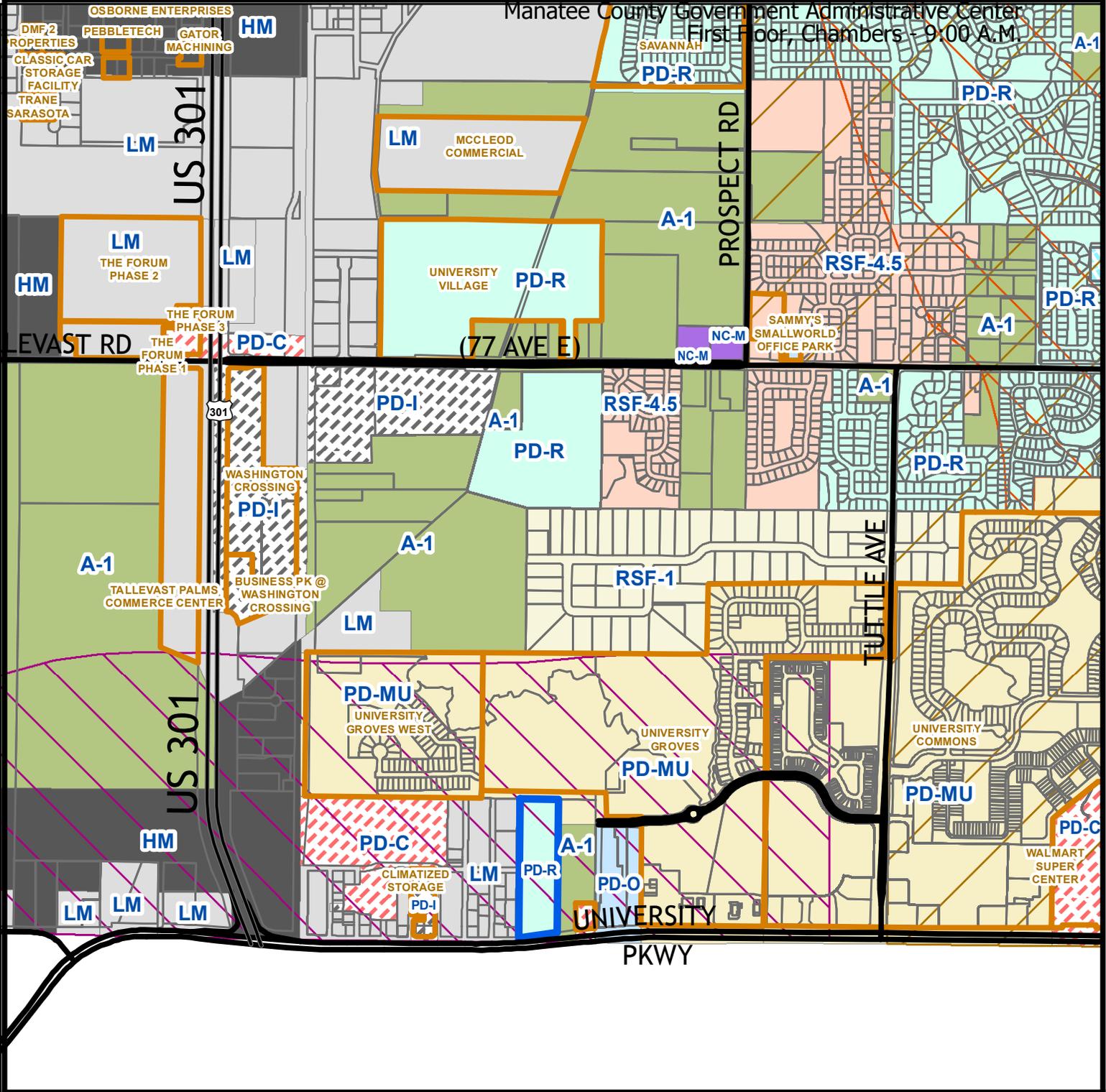
CHH: N  
 Watershed: NONE  
 Drainage Basin: WHITAKER BAYOU  
 Commissioner: Robin DiSabatino



Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 1,272 feet

# ZONING

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 2039410051

Project Name: University Pkwy Shoot Straight  
 Project #: PDC-14-23 (Z)(P)  
 DTS#: 20140302  
 Proposed Use: Commercial

S/T/R: Sec 3 Twn 35 Rng 16  
 Acreage: ± 9.7  
 Existing Zoning: PD-R  
 Existing FLU: MU  
 Overlays: NONE  
 Special Areas: NONE

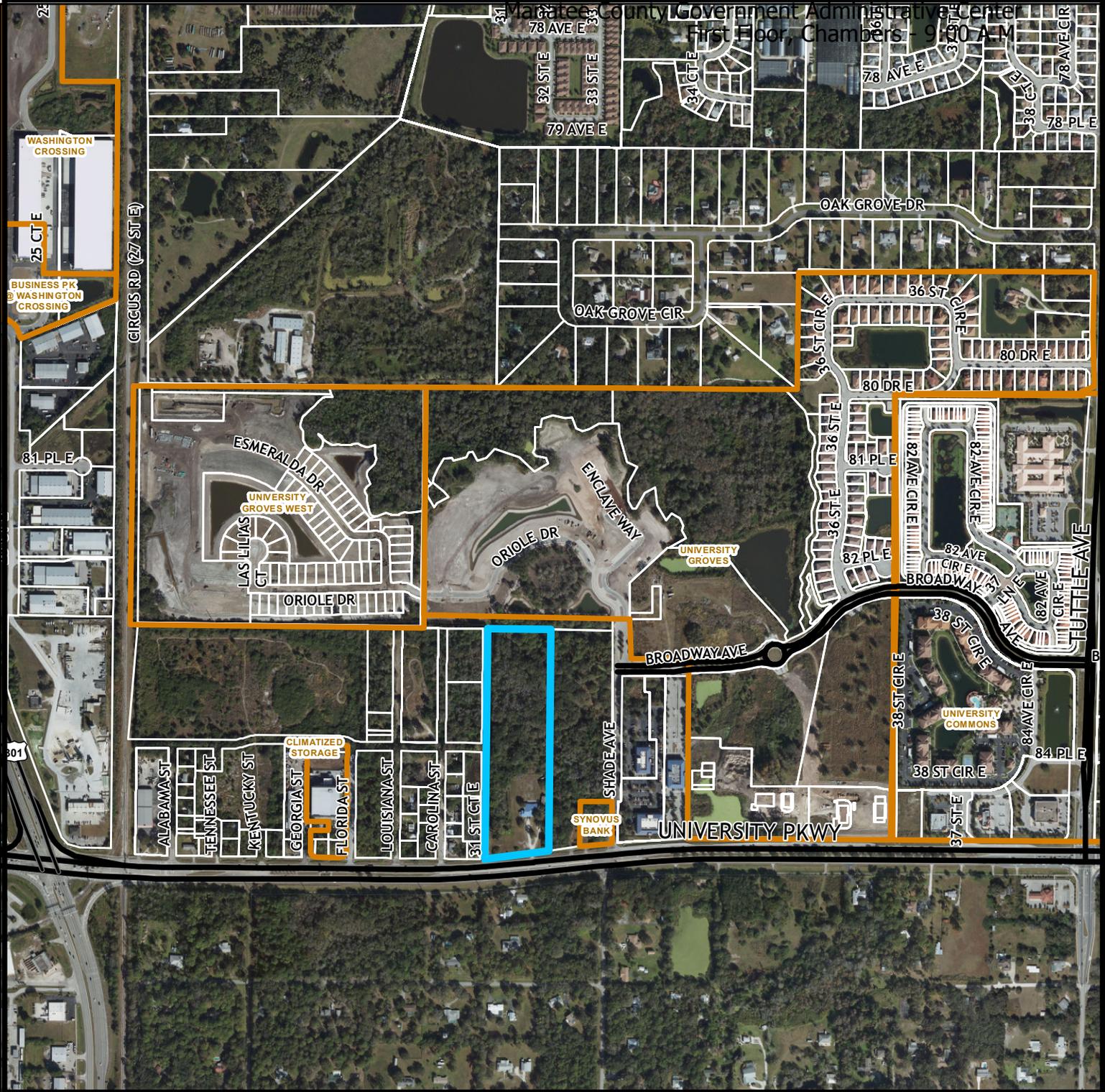
 Entranceways

CHH: N  
 Watershed: NONE  
 Drainage Basin: WHITAKER BAYOU  
 Commissioner: Robin DiSabatino



Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 1,272 feet

# AERIAL



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A-M

Parcel ID #(s) 2039410051

Project Name: University Pkwy Shoot Straight  
 Project #: PDC-14-23 (Z)(P)  
 DTS#: 20140302  
 Proposed Use: Commercial

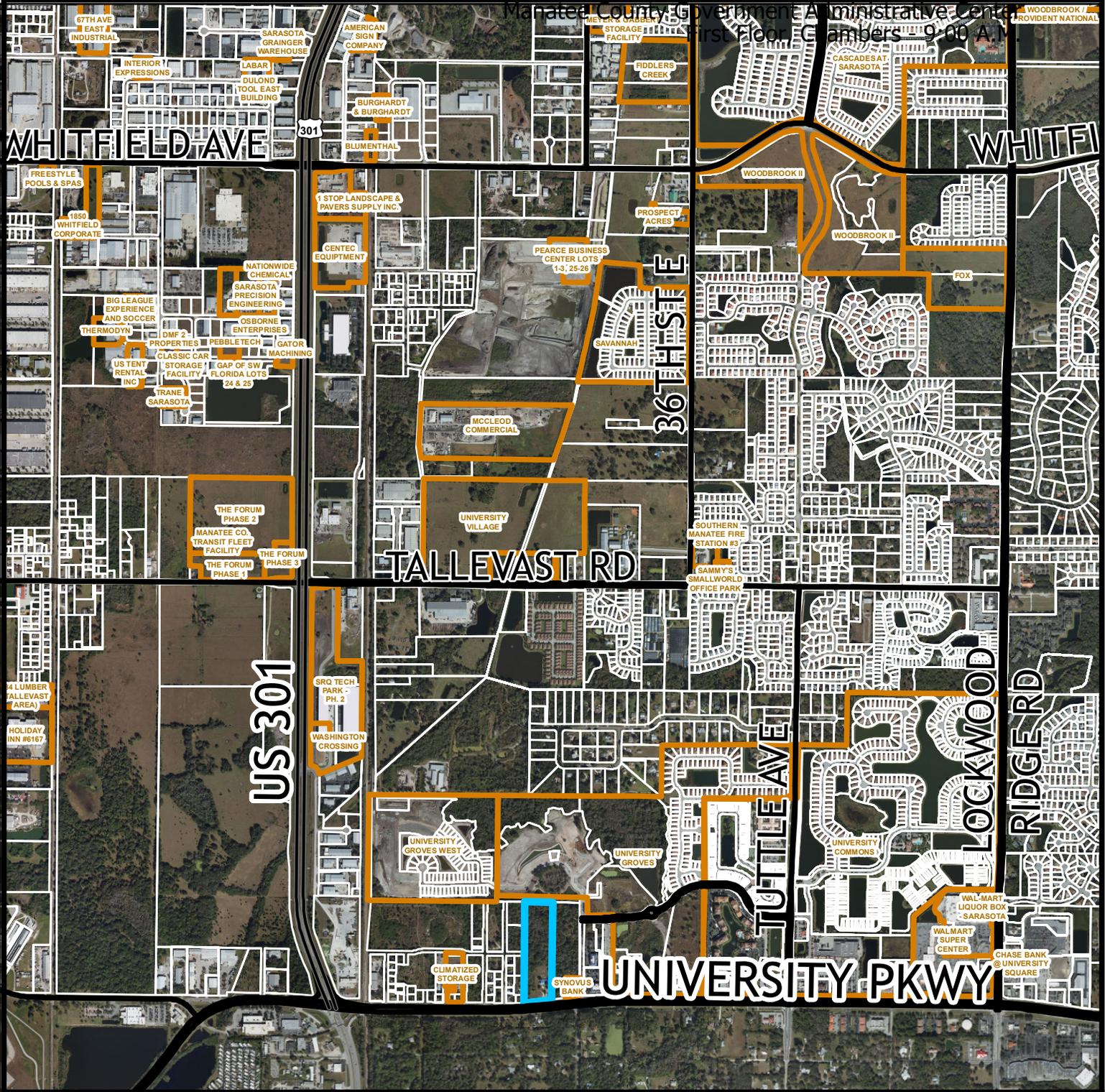
S/T/R: Sec 3 Twn 35 Rng 16  
 Acreage: ± 9.7  
 Existing Zoning: PD-R  
 Existing FLU: MU  
 Overlays: NONE  
 Special Areas: NONE

CHH: N  
 Watershed: NONE  
 Drainage Basin: WHITAKER BAYOU  
 Commissioner: Robin DiSabatino



Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 767 feet

# AERIAL



Parcel ID #(s) 2039410051

Project Name: University Pkwy Shoot Straight  
 Project #: PDC-14-23 (Z)(P)  
 DTS#: 20140302  
 Proposed Use: Commercial

S/T/R: Sec 3 Twn 35 Rng 16  
 Acreage: ± 9.7  
 Existing Zoning: PD-R  
 Existing FLU: MU  
 Overlays: NONE  
 Special Areas: NONE

CHH: N  
 Watershed: NONE  
 Drainage Basin: WHITAKER BAYOU  
 Commissioner: Robin DiSabatino



Manatee County  
 Staff Report Map  
 Map Prepared 10 / 2014  
 1 inch = 1,743 feet

P.C. 2/12/2015

**PDC-14-23(Z)(P) – UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**P.C.:** 2/12/2015

**B.O.C.C.:** 3/5/2015

**RECOMMENDED MOTION:**

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be **CONSISTENT** with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend **ADOPTION** of Manatee County Zoning Ordinance No. PDC-14-23(Z)(P); **APPROVAL** of the Preliminary Site Plan with Stipulations #A-1 through A-3, #B-1 through B-3, #C-1 through C-3, #D-1 and D-2, and #E-1 through E-4; **GRANTING** Special Approval for 1) a project in the MU (Mixed Use) Future Land Use Category, and 2) a project within an Entranceway, as recommended by staff.

<b>PROJECT SUMMARY</b>	
<b>CASE#</b>	<b>PDC-14-23(P)(Z) - DTS # 20140302</b>
<b>PROJECT NAME</b>	<b>University Parkway Shoot Straight</b>
<b>APPLICANT(S):</b>	<b>GMM Development Company and AVID Group for Jerry N. Levine, Property Owner</b>
<b>PROPOSED ZONING:</b>	<b>PDC (Planned Development Commercial)</b>
<b>EXISTING ZONING:</b>	<b>PDR (Planned Development Residential)</b>
<b>PROPOSED USE(S):</b>	<b>Medium Intensity Recreational and Neighborhood Commercial</b>
<b>CASE MANAGER:</b>	<b>Shelley Hamilton</b>
<b>STAFF RECOMMENDATION:</b>	<b>APPROVAL w/Stipulations</b>

**DETAILED DISCUSSION**

**History**

The subject property was rezoned in 1993 [PDR-92-11(Z)(P)] from A-1 (Suburban Agriculture) to PDR (Planned Development Residential) along with a Preliminary Site Plan to allow a House of Worship. At that time, a stipulation was granted to allow a right-in/right-out driveway onto University Parkway, only until such time that Broadway Avenue was constructed to provide another legal means of access. This stipulation will carry over to any approval for the proposed rezoning to PDC as Broadway Avenue still is not constructed.

**Future Land Use**

The subject property is designated as MU (Mixed Use) on the Future Land Use Plan for Manatee County. The intent of the MU designation is to establish areas as major centers of suburban/urban activity and are limited to areas with a high level of public facility availability along functionally classified roadways. The MU FLU category also provides incentives to encourage the integration of residential and non-residential uses within these areas, to allow for the development of a high quality environment for living, working and visiting.

The range of potential uses in the MU FLU category includes retail, wholesale, office uses, light industrial uses, research/corporate uses, warehouse/distribution, suburban or urban residential uses, recreational uses, public and semi-public uses, schools, and hospitals. The use proposed is considered a recreational use, which is in this list of potential uses.

**Request**

This application is to rezone the property to the PDC (Planned Development Commercial) zone district and to allow the construction of a retail firearm sales and service establishment, with an accompanying indoor, totally enclosed, firing range. The applicant is also proposing a second, free-standing retail building, with an un-disclosed end-user at this point.

The indoor firing range building has one main public entry point which is provided with full length glass (impact-resistant glazing), typical of a storefront entry system which is also equipped with an automated security shutter system for when the building is un-occupied. There is an open sales floor with offices on one end overlooking the sales area. There is a training classroom for instruction. The ranges consist of three separate chambers with hardened walls, doors and ceiling. The ranges are visible from the sales area via bullet-resistant glazing. The ranges are equipped with individual shooting stations with an automated overhead targeting system, individually controlled. There is a bullet trap at the far end of the range. Casings and slugs are collected periodically according to OSHA regulations and the material recycled. The range is acoustically-controlled and is air-conditioned by a computer ventilation system which filters the air, both making for a more comfortable and safer environment.

There is a pair of double doors for periodic deliveries which are conducted via small trucks during regular business hours. Deliveries are brought directly into the building receiving room and the receiving doors will alarm upon being propped open. The receiving area is sufficient to handle unpacking of recyclables. Incoming inventory is then moved to the adjacent storage room or the sales floor, as required. No items shall, at any time, be left unattended outside of the building, including refuse which shall be moved directly from the building to its receptacles in the screened dumpster enclosure; and this is strictly enforced as a matter of security. All inventory is under camera surveillance at all times.

**Additional Regulations**

The subject property is also subject to additional regulations, including location within a entranceway (one-half mile west of and one (1) mile east of U.S. 301 at University Parkway for a distance of one-half mile); located along a limited access roadway (University Parkway); and conditional use criteria for a medium intensity recreational use. The following restrictions relate to each of these additional regulations:

- 1) The purpose of a designated entranceway is to convey to the traveling public a strong image that Manatee County is a high quality place to live, work and visit; to provide standards and criteria by which proposed development in these entranceway areas will be reviewed; and to protect and enhance existing native vegetative community and promote the use of additional landscaping in these areas.
  
- 2) In addition to being in an entranceway, University Parkway is designated a limited access thoroughfare. Section 741 of the Land Development Code implements the Interlocal Agreement for University Parkway between Manatee County and Sarasota County. The Interlocal Agreement controls access locations onto University Parkway.

The Interlocal Agreement specifically regulates access locations, median opening intersections, and requires the approval of all access points to ensure that there is sufficient right-of-way for parallel frontage roads or other means of facilitating cross-access between parcels.

Finally, there are conditional use criteria for the proposed indoor firing range, including required setbacks, location of parking, loading, and screening, all of which are being met by the proposed use.

**SITE CHARACTERISTICS AND SURROUNDING AREA**

<b>ADDRESS:</b>	<b>2335 University Parkway; Sarasota, FL 34243</b>
<b>GENERAL LOCATION:</b>	<b>North of University Parkway; 2353 ± feet (.44 miles) east of U.S. 301</b>
<b>ACREAGE:</b>	<b>9.78 ± acres</b>
<b>EXISTING USE(S):</b>	<b>Abandoned place of worship</b>
<b>FUTURE LAND USE CATEGORY(S):</b>	<b>MU (Mixed Use)</b>
<b>DENSITY / INTENSITY:</b>	<b>0.6 F.A.R. (Maximum allowed – 1.0)</b>

**SURROUNDING USES & ZONING**

<b>NORTH</b>	<b>Future single family residences (University Groves) – zoned PDMU</b>
<b>SOUTH</b>	<b>Sarasota County – single family residences (DeSoto Acres)</b>
<b>EAST</b>	<b>Vacant property – zoned A-1</b>
<b>WEST</b>	<b>Single family residences – zoned PDR</b>

**SITE DESIGN DETAILS**

<b>BUILDING SIZE(S):</b>	<b>In-Door Shooting Range – 16,600 sq. ft. Neighborhood Commercial – 9,000 sq. ft.</b>		
<b>SETBACKS:</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
	<b>Front</b>	<b>30 feet</b>	<b>30 feet</b>
	<b>Side</b>	<b>15 feet</b>	<b>15 feet</b>
	<b>Rear</b>	<b>20 feet</b>	<b>Existing natural buffer to remain – 15</b>

			<b>feet provided by wetland buffer</b>
<b>OPEN SPACE:</b>	<b>Required: 20% (85,242 sq. ft. – 1.96 ± acres)</b> <b>Provided: 35% (127,829 sq. ft. – 2.93 ± acres)</b>		
<b>ACCESS:</b>	<b>Access is provided through an existing driveway onto University Parkway</b>		
<b>FLOOD ZONE(S)</b>	<b>“A” and “X” – FIRM Panel No. 120153 0319 E, dated March 17, 2014</b>		
<b>AREA OF KNOWN FLOODING</b>	<b>Yes – rainfall</b>		
<b>UTILITY CONNECTIONS</b>	<b>16” potable water main along University Parkway</b> <b>2” sanitary force main along University Parkway</b>		

**ENVIRONMENTAL INFORMATION**

<b>Overall Wetland Acreage:</b>	<b>3.55 ± acres</b>
<b>Proposed Impact Acreage:</b>	<b>0.79 ± acres</b>

<b>Wetland I.D.</b>	<b>Acres Impacted</b>	<b>Type</b>	<b>Quality</b>	<b>Reason for Impact</b>	<b>Staff Objection Yes / No</b>
<b>A</b>	<b>0.79</b>	<b>Forested</b>	<b>Low (0.2)</b>	<b>Commercial Building</b>	<b>No</b>

**Wetland Impacts**

There are approximately 3.55 acres of wetlands on-site. The wetlands acreage is comprised of 2 separate wetlands, Wetland “A” (0.79 acres) and Wetland “B” (2.76 acres). The applicant is proposing to impact Wetland “A” in its entirety in order to construct a commercial building. Wetland “B” is proposed to be preserved with the required 30 foot wetland buffer.

Wetland “A” is very low quality (0.2 UMAN), however, it is approximately 0.79 acres in size and therefore does not qualify as a non-viable wetland as defined by the LDC. Staff evaluated the proposed wetland impacts and it is staff’s opinion that the proposed wetland impacts meet the criteria for approval of wetland impacts in LDC Section 719.5.3(b) and (c). The wetland is located near the frontage on University Parkway and, if preserved, would be located between commercial development and undeveloped right-of-way for 31<sup>st</sup> Street Court West. It would likely to continue to decline over time, especially if the right-of-way is ever developed. Additionally, the applicant is proposing the preservation of approximately 0.92 acres of Native Upland Habitat in addition to the mitigation required by the SWFWMD.

The proposed site plan shows a floodplain compensation area encroaching into the 30 foot wetland buffer of Wetland “B.” It is staff’s opinion that this encroachment is consistent with the criteria for Variable Width Buffers in LDC Section 719.7.4.(c). This LDC Section allows

wetland buffers for minor encroachments into previously disturbed portions of a wetland buffer for short linear distances cannot be avoided. This encroachment cannot be avoided due to the requirement for the floodplain compensation area to connect with the existing floodplain area which is the limits of Wetland "B." The floodplain compensation area has been designed to preserve the only tree that exists within the wetland buffer area. The portion of the floodplain that encroaches into the required wetland buffer will be planted with native vegetation where appropriate and additional areas of wetland buffer have been provided in excess of the minimum 30 foot buffer requirement adjacent to Wetland "B."

**Endangered Species**

According to the environmental narrative, no listed species were observed on site.

**Trees**

A tree inventory is included as part of the Preliminary Site Plan with a calculation of required replacement trees as well as detailed plant material showing some replacement trees provided on-site. Tree replacement will be required to be addressed with the Final Site Plan in accordance with LDC Section 714.8.7.

Staff is recommending and providing findings for approval of a Specific Approval to be requested for an alternative to LDC Section 714.8.7 to allow for smaller replacement tree sizes of 3"/4"/4" in lieu of 3"/5"/7".

**Landscaping/Buffers:**

The PSP shows a 20 foot wide roadway buffer along University Parkway and a 10 foot roadway buffer along 31<sup>st</sup> Court East, in accordance with Entranceway requirements of LDC Section 737. A 15 foot wide screening buffer is provided along the east property line, as the adjacent use is residential. Details of landscape material, species and quantities are not being approved with the PSP. A stipulation, indicating this is provided for consideration.

<b>NEARBY DEVELOPMENT</b>				
<b>NON-RESIDENTIAL</b>				
<b>PROJECT</b>	<b>SQ. FT.</b>	<b>ACREAGE</b>	<b>FLUC</b>	<b>YEAR APPROVED</b>
<b>Climatized Storage</b>	<b>101,610</b>	<b>2.208</b>	<b>MU</b>	<b>2010</b>
<b>Used Car Lot</b>	<b>8,400</b>	<b>1.45</b>	<b>MU</b>	<b>1972</b>
<b>Recreational Vehicle Sales</b>	<b>16,552</b>	<b>2.46</b>	<b>MU</b>	<b>1972</b>
<b>Washington Crossings</b>	<b>83,375</b>	<b>19.577</b>	<b>IL</b>	<b>2013</b>
<b>University Commons</b>	<b>406,578</b>	<b>287.7</b>	<b>R/O/R</b>	<b>1992</b>
<b>RESIDENTIAL</b>				
<b>PROJECT</b>	<b>LOTS / UNITS</b>	<b>DENSITY</b>	<b>FLUC</b>	<b>YEAR APPROVED</b>
<b>University Groves</b>	<b>559</b>	<b>4.85</b>	<b>RES-6</b>	<b>2006</b>
<b>DeSoto Acres</b>	<b>Sarasota County development – south of University Parkway</b>			
<b>POSITIVE ASPECTS</b>				
<ul style="list-style-type: none"> <li>• The proposed use will provide a non-residential use within an area designated for a high level of public facility availability along a functionally classified roadways;</li> <li>• The use has been designed to encourage the integration of the non-residential use with the residential uses in the area through the site landscaping and setbacks to aid in the provision of quality environment for living, working and visiting</li> </ul>				
<b>NEGATIVE ASPECTS</b>				
<b>N/A</b>				
<b>MITIGATING MEASURES</b>				
<b>N/A</b>				

## STAFF RECOMMENDED STIPULATIONS

### A. DESIGN AND LAND USE:

1. Deliveries for the indoor firing range shall be during regular business hours.
2. A second Preliminary Site plan shall be required for the second retail building to be added as Phase 2 of the project. All stipulations associated with this second retail building shall be addressed at that time.
3. The design of the indoor firing range building shall be in substantial compliance with the building elevations submitted into the public hearing record.

### B. TRANSPORTATION:

1. The easternmost stop bar and the stop sign on University Parkway at the project entrance, as shown on the PSP, shall be removed on the Final Site Plan that will be submitted in the future.
2. At the time of submittal of Phase 2 for the second retail building, a full analysis of the site and a re-evaluation of the access points shall be performed for review and approval.
3. The right-in/right-out only driveway onto University Parkway shall be utilized only until such time that Broadway Avenue is constructed to provide another legal means of access. When Broadway Avenue is constructed and open as a public right-of-way, the existing driveway onto University Parkway shall be removed and no access shall be taken to University Parkway.

### C. INFRASTRUCTURE:

1. Connection to the County water and wastewater system is required pursuant to the Manatee County Comprehensive Plan. The cost of connection, including the design, permitting and construction of off-site extensions of lines, shall be the responsibility of the Applicant. Such off-site extension shall be designed and constructed in accordance with the applicable County System Master Plan. The connection shall be designed, engineered and permitted by the Applicant, consistent with Manatee County Public Works Standards and approved by the County Engineer through the construction plans review process for the project.
2. The Base Flood Elevation shall be established prior to Final Site Plan approval, and demonstration shall be provided in conjunction with the Final Site Plan.

3. If the second retail building, proposed in Phase 2, is a assembly-type occupancy (i.e., restaurant), the building will be required to be fire-sprinkled and fire alarmed.

**D. STORMWATER:**

1. This project shall be required to reduce the calculated pre-development flow rate by a full fifty percent (50%) for all stormwater outfall flow directly or indirectly into Pearce Drain. Modeling shall be used to determine pre- and post-development flows.
2. Any impacts (fill) within the 100-year floodplain of Pearce Drain shall be compensated by the creation of an equal or greater storage volume above seasonal high water table. 100-year floodplain impacts shall be mitigated in sole use compensation areas, not dual-use stormwater facilities (i.e., stormwater attenuation and floodplain compensation).

**E. ENVIRONMENTAL:**

1. A Conservation Easement for the areas defined as post-development jurisdictional wetlands/wetland buffers and upland preservation areas shall be dedicated to the County.
2. A Well-Management Plan for the proper protection and abandonment of existing wells shall be submitted to the County for review and approval prior to Final Site Plan approval. The Well-Management Plan shall include the following information:
  - a. Digital photographs of the well with nearby reference structures (if existing);
  - b. GPS coordinates (latitude/longitude) of the well;
  - c. The methodology used to secure the well during construction (e.g., fence, tape);
  - d. The final disposition of the well – used, capped or plugged.
3. Plant material quantities and species are not being approved with this Preliminary Site Plan. Staff will review and approve this detail with the Final Site Plan.
4. Irrigation for landscaping shall use the lowest water quality source available, which shall be identified on the Final Site Plan. Use of Manatee County public potable water supply shall be prohibited.

**REMAINING ISSUES OF CONCERN – NOT RESOLVED OR STIPULATED**

**None**

COMPLIANCE WITH LDC				
Standard(s) Required	Design Proposal	Compliance		Comments
		Y	N	
<b>BUFFERS</b>				
20 foot roadway buffer, University Parkway	20 foot	Y		Shown on Plan
10 foot roadway buffer, 31 <sup>st</sup> Court East	10 foot	Y		Shown on Plan
15 foot perimeter buffer	15 foot	Y		Shown on Plan
Buffer landscaping		Y		Shown on Plan

**COMPLIANCE WITH THE LAND DEVELOPMENT CODE  
 Factors for Reviewing Proposed Site Plans (Section 508.6)  
 Planned Districts - Rezone Review Criteria (Section 603.4)**

**Physical Characteristics**

The site characteristics and proposed range of commercial uses are suitable for development at this location without hazards to persons or property. Geotechnical and environmental analyses were conducted and utilized in preparation of the site engineering.

The building mass is broken down by creating tilt-up concrete panels of varying width, averaging about 25 feet in length. The feature panels represent design themes to support the building use and create a rhythm around the building. There are four reoccurring typical panels that are accented by changes in color, material and style. Panels vary in height, but all panels are high enough above the road to screen mechanical equipment. The panels are further detailed by architectural elements such as tiled roofs, raised banding, decorative wall down lights, etc. Each panel contains a faux window to uniformly tie the panels to the building. The entry tower is flanked by porch elements that further direct the public and provide shelter. All of these features are consistently applied around entire perimeter of the building. Deliveries are handled by one double door at the center of the site.

The proposed building should be complementary to its neighboring businesses and scaled to blend with the residential neighbors. Open spaces have been dispersed around the property and are heavily landscaped to create visually interesting spaces, particularly along University Parkway.

**Public Utilities, Facilities and Services**

The site is located along a major arterial roadway (University Parkway). Potable water and sanitary sewer lines are located within the adjacent right-of-way and it is our understanding that there is adequate capacity to serve the project. Reclaimed water is not available, so an irrigation well is proposed. There is no residential proposed, so no impacts are generated for

schools, recreational or library facilities. Any need for emergency or public safety services will not be any different than other commercial uses. The stormwater management system will be permitted and built in compliance with Manatee County and SWFWMD requirements.

### **Major Transportation Facilities**

A traffic study was submitted showing the trip generation and distribution for the project. The property fronts on a major arterial roadway. There is an existing/proposed driveway connection onto University Parkway, as well as the redevelopment proposed that will provide a cross-access easement from 31<sup>st</sup> Court East (a dead-end, local road that serve a mixture of industrial and residential uses) to the west to the large undeveloped parcel. To the east, there is an existing single-family residence that is currently on the market and listed for sale as a commercial property.

### **Compatibility**

The project will not generate negative external impacts. The project will comply with Manatee County's lighting and noise ordinance. The indoor shooting range is designed and will be operated in compliance with OSHA regulations and the waste shooting materials will be recycled. The indoor shooting range will be acoustically-controlled to minimum perceptible noise levels and a computer-controlled ventilation system will filter and circulate air to remove particles and improve air quality.

The firing range will not generate any undesirable odors. It will use a self-contained ventilation system that is filtered, so odors are entirely contained. The business will not handle any organic material of food items that produce odors.

The project is not expected to create adverse impacts related to noise. The firing range will be constructed in such a way that sound absorptive material, as to contain gun noises are retained in the interior of the building. There is no late night or early morning deliveries or operations proposed, and all functions will be handled during regular business hours.

### **Transitions**

The PDC zone district is compatible with the existing commercial/industrial land use pattern for the area, and serves both as a complementary land use and as a transition between the existing uses in the area. The properties to the west are zoned LM (Light Manufacturing) and the vacant parcel to the east is zoned A-1, however, are being marketed for commercial development.

### **Design Quality**

The requested rezoning is to a Planned Development district, and the Preliminary Site Plan submitted demonstrates compliance with all applicable regulatory requirements for a Planned Development district.

### **Adjacent Property**

The project will provide appropriate screening and buffering that meets or exceeds code requirements. These elements are identified on the Preliminary Site Plan.

**Access**

The existing/proposed driveway location and cross-access points are shown on the Preliminary Site Plan. These access points provide for safe and efficient traffic flow, while minimizing conflict with pedestrian movements.

**Streets, Drives, Parking and Service Areas**

No new streets are proposed. The on-site vehicular use area have been designed for safe, efficient circulation and convenient parking. Also, there are dedicated loading areas located away from pedestrian points of access. Sidewalks are provided adjacent to each building for safe pedestrian circulation from the parking areas to each building's main entrance.

**Pedestrian Systems**

Internal sidewalks are to be provided adjacent to, and between each building and the existing public sidewalk system on the University Parkway right-of-way.

**Natural and Historic Features, Conservation and Preservation Areas**

There are no archaeological or historic resources located on the property. The Preliminary Site Plan was designed to preserve many of the existing trees and the quality wetlands. The one small, low quality wetland that will be eliminated to provide adequate building area will be mitigated on-site through the expansion and enhancement of the larger, higher quality wetland that will remain and be placed in a conservation easement to ensure future preservation and maintenance.

**Density/Intensity**

The 0.6 FAR is below the maximum intensity allowed in the MU (Mixed Use) Future Land Use category.

**Height**

One-story (<35 feet) commercial buildings are proposed.

**Fences and Screening**

The perimeter buffers will be landscaped with vegetation in compliance with code requirements. Commercial activities will be conducted indoors, and since there will be no outdoor storage areas, no additional screening is necessary.

**Yards and Setbacks**

The proposed perimeter landscape buffers and building setbacks meet or exceed code requirements. The required landscaping and building setbacks are shown on the Preliminary Site Plan.

**Trash and Utility Plant Screens**

A double dumpster enclosure will be provided. It is to be located between/behind the two buildings, at the rear of the parking lot to minimize visibility from the general public in a convenient location for employees to use and for service vehicles to safely access.

**Signs**

Signs will be required to comply with LDC requirements. The proposed freestanding sign location is shown on the Preliminary Site Plan.

**Landscaping**

Landscaping will comply with the LDC requirements.

**Mixed Use or Entranceway Designation**

Entranceway Designation along University Parkway

**Water Conservation**

N/A

**Rights-of-Way**

The applicant has shown a reservation of 9' along University Parkway, as required by Public Works.

**Utility Standards**

All proposed utility improvements will comply with Manatee County requirements.

**Stormwater Management**

Project located in Flood Prone Area:	Yes
Type of Flooding (i.e., rainfall, riverine, storm surge, etc.):	Rainfall
Project subject to flow reduction:	Yes, project is subject to 50% reduction in allowable runoff.
Project subject to OFW:	N/A
Watershed/Basin:	Pearce Drain
Project located within Floodplain and/or Floodway:	Yes, the project is partially located within the 100-year floodplain Zone "A" pursuant to the FEMA 2014 FIRM
Drainage Easements/Access Easements required for existing system(s):	N/A

**Open Space**

Required	35% (148,975 sq. ft. – 3.42 ± acres)
Provided	35.42% (149,846 sq. ft. – 3.44 ± acres)

**COMPLIANCE WITH COMPREHENSIVE PLAN**

**The site is in the MU Future Land Use Category. A list of Comprehensive Plan Policies applicable to this request is attached. This project was specifically reviewed for compliance with the following policies:**

**Policy 2.1.2.7 Appropriate Timing.** The timing is appropriate given development trends in the area. The properties along University Parkway, in this area are characterized by retail and industrial uses.

**Policy 2.2.1.21.1 Intent. The intent of the MU FLUC** is to establish areas for major center of suburban/urban activity with high levels of public facility availability along functionally classified roadways. It is also to provide incentives for, encourage and/or require the horizontal or vertical integration of various residential and non-residential uses within these areas, and to provide a area for high quality for living, working and visiting.

**Policy 2.2.1.21.2 Range of Potential Uses.** Retail, wholesale, office uses, light industrial uses, research/corporate uses, warehouse/distribution, suburban/urban residential uses, lodging places, recreational uses, public or semi-public uses, schools, hospitals, and short-term agricultural uses. The indoor firing range is classified as a medium intensity recreational use and is in the range of potential uses.

**Policy 2.6.1.1 Compatibility.** The Preliminary Site Plan design is compatible with surrounding development because there are existing retail and industrial uses in the general area. The setbacks and landscaping proposed for the development will provide adequate protection for the residential uses nearby, as well as the existing and industrial uses in the area.

**Policy 2.6.5.4 Preserve/Protect Open Space.**

The site plan shows 35.42% open space (3.44 acres) - 30% open is required (25% as a planned development, and an additional five (5) percent is required as a development within and Entranceway.

## TRANSPORTATION

### **Major Transportation Facilities**

The site is adjacent to University Parkway, which is designated as a six lane arterial roadway with a planned right-of-way width of 200 feet.

### **Transportation Concurrency**

Transportation Concurrency was reviewed for the project. The applicant prepared a Traffic Impact Statement (TIS) to evaluate project-related traffic impacts on the adjacent section of University Parkway. Based on the approved TIS, staff finds that the impacted roadway segment will operate better than the level of service "D" performance standard with no required concurrency-related improvements (see Certificate of Level of Service table below).

### **Access**

The Traffic Impact Statement also included review of the site access point. The project will have access via one driveway connection to University Parkway with no site-related improvements required.

**CERTIFICATE OF LEVEL OF SERVICE (CLOS) COMPLIANCE**

**CLOS APPLIED FOR:**     Y   X     N       
**TRAFFIC STUDY REQ'D:** Y   X     N     

NEAREST ROADWAY	LINK(S)	ADOPTED LOS	EXISTING LOS
University Parkway	3206	"D"	"C"

**OTHER CONCURRENCY COMPONENTS**

Solid waste, landfill capacity, and preliminary drainage intent have been reviewed with this Preliminary Site Plan. Potable water and wastewater will be reviewed at Final Site Plan/Construction Drawing stage.

**SPECIAL APPROVAL – ANALYSES, RECOMMENDATIONS AND FINDINGS**

**Applicant Request(s):**

- Request:**  
 Policy 2.2.1.21.4 of the Manatee County Comprehensive Plan requires all projects within the MU FLUC to obtain Special Approval.

**Staff Analysis and Recommendation:**  
 Planned development zoning is required to grant special approval for all projects within the MU FLUC category, except single-family homes and related accessory uses on lots of record.

**Finding for Special Approval:**  
 Notwithstanding the requirements of Comprehensive Plan Policy 2.2.1.21.4, the Board finds that the purpose of the Comprehensive Plan, specifically allowing a project, to be zoned PDC (Planned Development Commercial) in the MU FLUC.

- Request:**  
 Comprehensive Plan Policy 2.9.4.1 requires projects within an "Entranceway" to apply for Special Approval.

**Staff Analysis and Recommendation:**  
 The purpose of "Entranceway" designations is to ensure that an aesthetically pleasing environment which enhances the image of Manatee County as a high quality community in which to live, work and visit is provided. In order to provide

this assurance, a project must provide special landscaping, design and signage control that achieves this positive image and sense of place.

The applicant has provided the necessary assurances to achieve the required “entranceway” requirements relating to landscaping and design. The signage controls will be applied at the next stage of the development process.

**Finding for Special Approval:**

Notwithstanding the requirements of Comprehensive Plan Policy 2.9.4.1, the Board finds that the purpose of the Comprehensive Plan, specifically enhancing the “entranceways” to Manatee County is provided, is adhered to.

**ATTACHMENTS**

- 1. Applicable Comprehensive Plan Policies**
- 2. Affidavit of Ownership**
- 3. Traffic Impact Statement**
- 4. Copy of Newspaper Advertising**

**APPLICABLE COMPREHENSIVE PLAN POLICIES**

Policy: 2.1.2.7 Review all proposed development for compatibility and appropriate timing. This analysis shall include:

- consideration of existing development patterns,
- types of land uses,
- transition between land uses,
- density and intensity of land uses,
- natural features,
- approved development in the area,
- availability of adequate roadways,
- adequate centralized water and sewer facilities,
- other necessary infrastructure and services.
- limiting urban sprawl
- (See also policies under Objs. 2.6.1 - 2.6.3)

Policy: 2.2.1.21 **MU:** Establish the Mixed-Use future land use category as follows:

Policy: 2.2.1.21.1 Intent: To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Map, areas which are established as major centers of suburban/urban activity and are limited to areas with a high level of public facility availability along expressways. Also, to provide incentives for, encourage, or require the horizontal or vertical integration of various residential and non-residential uses within these areas, achieving internal trip capture, and the development of a high quality environment for living, working, or visiting.

Policy: 2.2.1.21.2 Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5): Retail, wholesale, office uses, light industrial uses, research/corporate uses, warehouse/ distribution, suburban or urban residential uses, lodging places, recreational uses, public or semi-public uses, schools, hospitals, short-term agricultural uses, other than special agricultural uses, agriculturally-compatible residential uses, and water-dependent uses.

Policy: 2.2.1.21.3 Range of Potential Density/Intensity:

Maximum Gross Residential Density:  
 9 dwelling units per acre

Maximum Net Residential Density:  
 20 dwelling units per acre

Maximum Floor Area Ratio: 1.0  
 Maximum Square Footage for Neighborhood, Community, or Region-

Serving Uses:  
Large (300,000sf)

Policy: 2.2.1.21.4 Other Information:

- a) All projects require special approval and are subject to the criteria within b, c, d below, unless all the following are applicable:
  1. The proposed project consists of a single family dwelling unit located on a lot of record which is not subject to any change in property boundary lines during the development of the proposed land use, and
  2. The proposed project is to be developed without generating a requirement for either subdivision review, or final site or development plan review, or equivalent development order review.
- b) Non-Residential uses exceeding 150,000 square feet of gross building area (region-serving uses) may be considered only if consistent with the requirements for large commercial uses, as described in this element.
- c) Development in each area designated with the Mixed Use category shall:

contain the minimum percentage of at least three of the following general categories of land uses;

  - 10 %Residential,
  - 10 %Commercial / Professional,
  - 10 %Light Industrial / Distribution.
  - 5 %Recreation / Open Space,
  - 3 %Public / Semi Public,
- d) Access between these uses shall be provided by roads other than those shown on the Major Thoroughfare Map Series of this Comprehensive Plan or alternative vehicular and pedestrian access methods acceptable to the County:
- (e) Development or redevelopment within the area designated under this category shall not be required to achieve compliance with the commercial locational criteria described in Objectives 2.10.4.1 and 2.10.4.2 of this element.

Policy: 2.6.1.1 Require all adjacent development that differs in use, intensity, height,

and/or density to utilize land use techniques to mitigate potential incompatibilities. Such techniques shall include but not be limited to:

- use of undisturbed or undeveloped and landscaped buffers
- use of increased size and opacity of screening
- increased setbacks
- innovative site design (which may include planned development review)
- appropriate building design
- limits on duration/operation of uses
- noise attenuation techniques
- limits on density and/or intensity [see policy 2.6.1.3]

Policy: 2.6.5.1. Provide incentives for, and otherwise encourage the use of the planned unit development procedure to achieve quality, highly functional, and well-integrated project designs.

Policy: 2.6.5.2 Encourage, in locations which are suited to diverse uses, mixed and multiple use projects to provide for integration and synergy between land uses. Nothing in this policy shall preclude single use or homogenous projects if mixing of uses on a single project, or intrusion of a different use into a homogenous area, will create inappropriate diversity or incompatibilities between adjacent land uses.

Policy: 2.6.5.4 Maximize the conservation and/or protection of public or private open space, including common open space, through the land development process by requiring that minimum percentages of the upland area on any project be maintained as undisturbed or landscaped areas.

Policy: 2.6.5.5 Ensure urban infill projects are compatible to their setting and designed to contribute to the overall enhancement of the existing neighborhood. Compatibility consideration will include building massing, vertical character and setbacks within the existing urban neighborhood. Urban neighborhood projects shall preserve the street grid pattern, on street parking and sidewalks characteristics of existing urban neighborhoods.

Policy: 2.10.1.1 Encourage the development of new commercial uses as “infill” development and discourage the “expansion” of existing commercial areas not meeting commercial locational criteria contained in Objective 2.10.4.

Policy: 2.10.1.2 Promote the development of commercial uses in planned commercial centers, and discourage scattered, incremental commercial development.

**MANATEE COUNTY BUILDING AND DEVELOPMENT SERVICES DEPARTMENT  
AFFIDAVIT OF OWNERSHIP/AGENT AUTHORIZATION AFFIDAVIT**

Property Owner (Company or individual) (print): Jerry N. Levine  
 Mailing Address (print): 2335 University Parkway, Sarasota, FL 34243  
 Officer's Name and Title (print): n/a

Being first duly sworn, depose(s) and say(s):

- That I am (we are) the owner's and record title holder(s) of the following described property legal description, to wit: The West 1/2 of the East 1/2 of the S.E. 1/4 of the S.W. 1/4 of Section 32, Township 35 South, Range 18 East. LESS that portion taken for State Road 610, as described in Official Records Book 974, Page 127, Public Records of Manatee County, Florida
- That this property constitutes the property for which a request for Rezoning, site plan and other development permits as may be needed for redevelopment with a proposed 16,600 sq.ft. gun range and store (Phase I) & 10,000 sq.ft commercial (Phase II).

*(Type of Application Approval Requested)*

- Is being applied for to Manatee County, Florida;
- That the undersigned has (have) appointed and does (do) appoint Shoot Straight, Inc., GMM Development Company, LLC, and AVID Engineering Inc. (dba, AVID Group) as agent(s) to execute any petitions or other documents necessary to affect such petition; and request that you accept my agent(s) signature as representing my agreement of all terms and conditions of the approval process;
  - That this affidavit has been executed to induce Manatee County, Florida to consider and act on the foregoing request;
  - That I, (we) the undersigned authority hereby certify that the foregoing is true and correct.

*George M. McBee* Agent, 6/19/14  
 Owner's Signature/Print Title  
George M McBee, Agent  
 Owner's Signature/Print Title

STATE OF FLORIDA  
 COUNTY OF ~~MANATEE~~ PASCO

The foregoing instrument was acknowledged before me this June 19, 2014 by George M. McBee who is personally known to me or who has produced FLPL M210-313-62-163-0 as identification.

My Commission Expires: Dec 1, 2015 *[Signature]*  
 Signature of Person Taking Acknowledgment



Steven Ramsland Name  
Notary Public Title or Rank



**To:** "Jane Caldera" <janecaldera07@gmail.com>, clarke.davis@mymanatee.org, "George M. McBee" <gmcbee@gmmdevco.com>  
**Cc:** jason.utley@mymanatee.org, Nelson.Galeano@mymanatee.org, paul.villaluz@mymanatee.org, "Peter Pensa" <peter.pensa@avidgroup.com>, "Richard  
**Bcc:**  
**Subject:** RE: Shoot Straight PDC-14-23(Z)(P)/DTS#20140302

---

RE: Shoot Straight - Traffic Impact Statement  
Petition # PDC-14-23(Z)(P)/DTS#20140302  
Consultant: Truckin Traffic, LLC.

Dear Ms. Caldera,

The Manatee County Public Works Department, Transportation Planning Division, has reviewed and approved the Traffic Impact Statement (TIS), revised December 3, 2014 as prepared by Truckin Traffic, LLC. Based on the data provided in this document, the Applicant has addressed the Comprehensive Plan requirements, and provided appropriate traffic-related information to substantiate the findings. In conjunction with this outcome, the Transportation Planning Division recommends transportation concurrency approval.

Please note that the project will directly impact Link # 3206 (University Parkway from U.S.301 to Tuttle Avenue) with 88 pm peak-hour trips. However, there are no off-site transportation concurrency improvements required for this project.

An access analysis was performed and it was determined that no right turn lane is warranted for phase one of this project. However, when the phase two application is submitted a full analysis of the site and a re-evaluation of the access points shall be performed.

The applicant has been advised of the need to work with Manatee County regarding right of way needs for University Parkway.

If you have any questions or require further assistance, please contact Clarke Davis at 941.708.7450 Ext 7272 or me at the number below.

Thank You,

Steve Kollar  
Transportation Systems Modeler  
AutoDesk Contract Administrator  
Manatee County Public Works Department  
Transportation Planning Division  
1022 26th Avenue East Bradenton Fl. 34208  
Phone (941) 748-4501 Ext. 7604  
steve.kollar@mymanatee.org



## University Parkway Shoot Straight

### TRAFFIC IMPACT STATEMENT

December 3, 2014

**DTS Application Number: DTS #20140302/Project Number: PDC-14-23(Z)(P)**

#### **Narrative**

This project is located at 2335 University Parkway, just east 31<sup>st</sup> Court East, in Manatee County, Florida. The property is currently occupied by a church. The first phase of the development will be the construction the Shoot Straight building with a total area of 16,597 SF; this total area includes a gun range with 24 shooting positions that will take up 8,204 SF of the building. The remaining 8,393 SF of the Shoot Straight building will consist of a 4,621 SF retail sales area and 3,772 SF of ancillary miscellaneous offices and storage areas to support the gun range. Attachment A contains the floor plan that shows how the interior spaces layout. The second phase of this development will allow for a 9,000 SF specialty retail building.

#### **Trip Generation**

Table 1 below indicates the estimated trips using ITE Trip Generation 9<sup>th</sup> Edition.

**TABLE 1**

ITE Code	Land Use Type	Size	PM Peak-Hour Trips In	PM Peak-Hour Trip Out	PM Peak-Hour Total Trips
n/a	<b>Gun Shooting Range</b>	<b>24 positions</b>	<b>0</b>	<b>3</b>	<b>3</b>
<b>826</b>	<b>Specialty Retail</b>	<b>8,393 SF</b>	<b>20</b>	<b>22</b>	<b>42</b>
<b>826</b>	<b>Specialty Retail</b>	<b>9,000 SF</b>	<b>20</b>	<b>23</b>	<b>43</b>
	<b>Total</b>		<b>40</b>	<b>48</b>	<b>88</b>

*Note: See Attachment A for back up documentation for trip generation calculations by phase and land-use.*

#### **Capacity**

Table 2 below indicates the impacted roadway links and the project traffic impacts on the impacted links and the capacity of those facilities.

**TABLE 2**

Link No.	Road Name	From Street	To Street	Cross Section	Peak Hour Base	Peak Hour Res. Trips	Peak Hour Total	Peak-Hour 2-way LOS Std Service Volume	Est. Project Traffic	Avail Peak Hour Capacity (w/Project traffic loaded)	5% Peak Hour LOS Vol
3206	University Parkway	U.S. 301	Tuttle Ave.	6D	3,096	659	3,755	4,850	88	1,095	242.5

---

**Significance**

A roadway is determined to be significantly impacted if a project's proposed traffic is greater than 5% of the adopted two-way LOS Standard Service Volume. Table 2 indicates that the project does not generate 5% of the adopted two-way LOS Standard Service Volume of University Parkway from U.S.301 to Tuttle Avenue. However, first impacted thoroughfare links are considered "significantly" impacted. For these smaller-type developments, Manatee County's Traffic Impact Analysis Requirements and Procedures allow for concurrency findings to be made through a Traffic Impact Statement (TIS) instead of a Traffic Impact Analysis (TIA).

**Level of Service**

Based upon information in Table 2, the segment of University Parkway from U.S.301 to Tuttle Avenue Link Number 3206 appears to be operating at or above the currently adopted LOS standard (D) according to the most recent Manatee County Link Sheet, during the PM peak-hour.

**Right of Way**

Based upon the Comprehensive Plan's Future Traffic Circulation Map, the segment of University Parkway from U.S.301 to Tuttle Avenue has a future right of way need of 200 feet (100 foot half width). The applicant will work with the Manatee County Transportation Planning Division to ensure sufficient area to accommodate a future right of way setback for El Conquistador Parkway.

**Access**

This site currently has one access driveway to University Parkway. This access driveway operates as a right in/out driveway and has a flared opening that is approximately 15 feet wide. The proposed site access plan will upgrade existing right in/out driveway connection to a radial design. The site will also have a driveway connection to 31<sup>st</sup> Court East approximately 100 feet north of University Parkway.

A right turn lane warrant analysis was performed for based on two methods. Method 1, as requested by Manatee County, was based the application of NCHRP 279, Figure 4-23, page 64. This method required and interpolation to reflect a 6 lane divided highway. Since an interpolation was required a second method was performed to consider the results. Method 2 was based on the FDOT guidelines for unsignalized driveways. The results of each method are presented below:

**Method 1 - NCHRP 279**

The right turn lane warrant analysis was performed according to the Figure 4-23 from NCHRP 279. To be conservative all Phase 1 inbound traffic was assumed to enter the project via DW 1. Since Figure 4-23 does not contain a graph for 6 lanes highway, the 4 lane highway graph was used with the following assumptions:

$$\begin{aligned} \text{Right Turns in Peak Hour (VPH)} &= 24 \\ \text{Total Peak Hour Approach Volume (VPH)} &= 1,452 \text{ vph} / 3 \text{ lanes} = 484 \text{ vphpl} \\ &= 484 \text{ vphpl} * 2 \text{ lanes} = 968 \text{ vph (for 4LD)} \end{aligned}$$

The NCHRP interpolation for a 6 lane highway is displayed in the graph below.

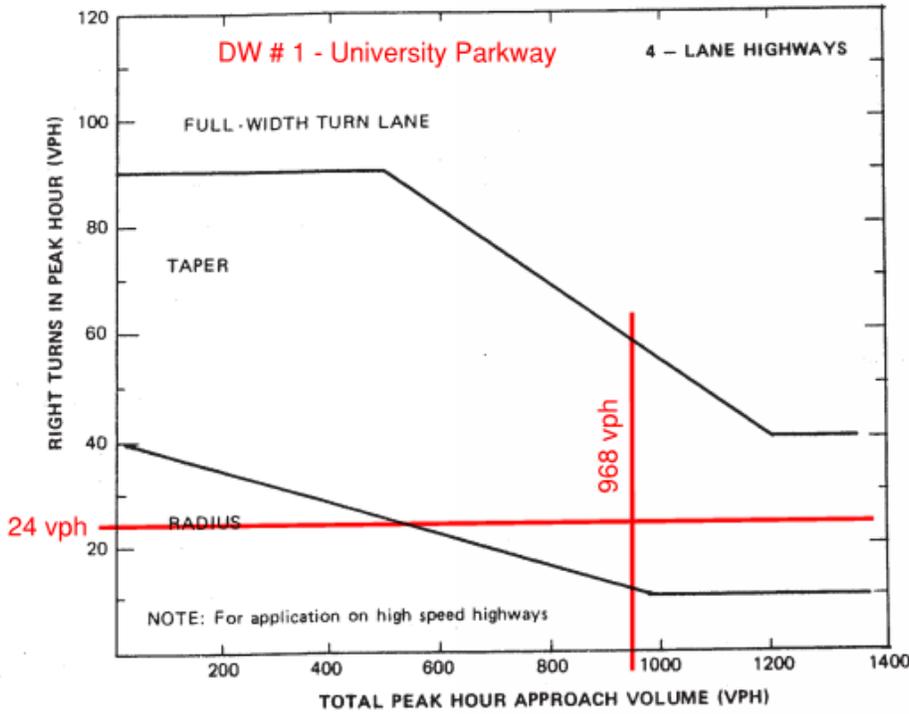


Figure 4-23. Traffic volume guidelines for design of right-turn lanes. (Source: Ref. 4-11)

As indicated on this graph, a right turn lane is not warranted at that the requested site access driveway. According to this graph, the right turn volume would need to exceed 60 vph to warrant a full width right turn lane.

**Method 2 – FDOT Handbook 2008**

The right turn lane warrant analysis was performed according to the FDOT guidelines for unsignalized driveways, specifically FDOT Warrant Criteria, Exhibit 44. The FDOT turn lane analysis criteria and result is shown in table below.

**RIGHT TURN LANE EVALUATION (Site Driveway # 1 on University Parkway)**

Recommended Guidelines for Exclusive Right Turn Lanes to Unsignalized Driveway		
Westbound Right Turn Warrant Criteria	Number of Right Turns per Hour (1)	
	Low Range	High Range
Posted speed limit 45 mph or less	80	125
Posted speed limit over 45 mph	35	55
<b>Posted Speed Limit (mph)</b>	<b>50</b>	
<b>Projected peak hour right turning movement</b>	<b>24</b>	
<b>Major roadway vehicles per hour per lane</b>	<b>484</b>	
<b>Number of through lanes (EB)</b>	<b>3</b>	
<b>Entry Radius Size 50 feet or greater</b>	<b>No</b>	
<b>Right Turn Lane Warranted?</b>	<b>No</b>	

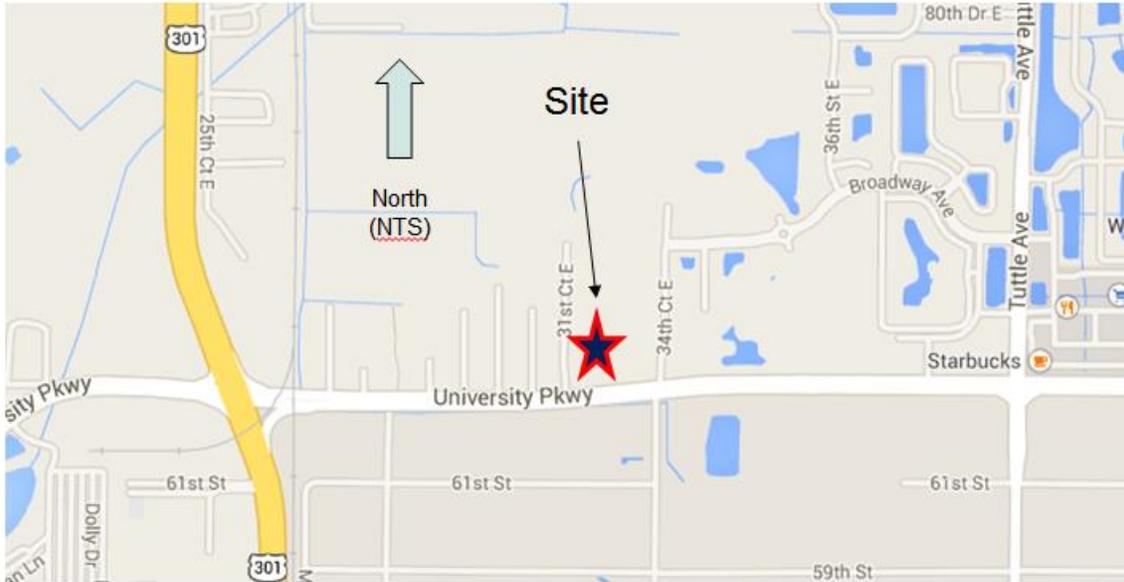
(1) FDOT Warrant Criteria per FDOT Driveway Information Guide, 2008, Exhibit 44

As indicated the table above, a right turn lane is not warranted at that the requested site access driveway.

**Conclusion**

This project does not appear to create adverse transportation impacts on adjacent roadway facilities.

**Site Location Map**



Sincerely,  
**TRUCKIN TRAFFIC, LLC**



Jane A. Caldera, P.E.  
Principal Traffic Engineer



Jane A. Caldera, P.E.  
P.E. # 53116

### FLOOR PLAN NOTES

1. DIMENSIONS THIS SHEET ARE FROM FACE OF STRUCTURE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
2. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
3. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
4. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
5. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
6. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
7. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
8. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
9. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
10. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.

### PARTITION SCHEDULE

MATERIAL THICKNESS: 6" NON-RATED EXTERIOR AND BRACE  
6" NON-RATED EXTERIOR AND BRACE

MARK	FIN	LAB	STC	MATERIAL TYPE	GRAPHIC DESCRIPTION
A	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
B	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
C	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
D	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
E	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
F	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
G	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]
H	N/A	N/A	STC	1/2" GYPSUM BOARD	[Symbol]

### PARTITION NOTES

1. ALL PARTITIONS SHALL HAVE AN 18" GYPSUM BOARD AND AN 18" GYPSUM BOARD DEPTH TYPICAL AT 18" O.C. WALL SPACING. ALL PARTITIONS TO BE INSULATED PER CSF.
2. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
3. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
4. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
5. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
6. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
7. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
8. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
9. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.
10. ALL PARTITIONS SHALL BE CONSTRUCTION TYPE I UNLESS NOTED OTHERWISE.

### FINISH SCHEDULE

BASE: 101 - 1/2" GYPSUM BOARD  
102 - 1/2" GYPSUM BOARD  
103 - 1/2" GYPSUM BOARD

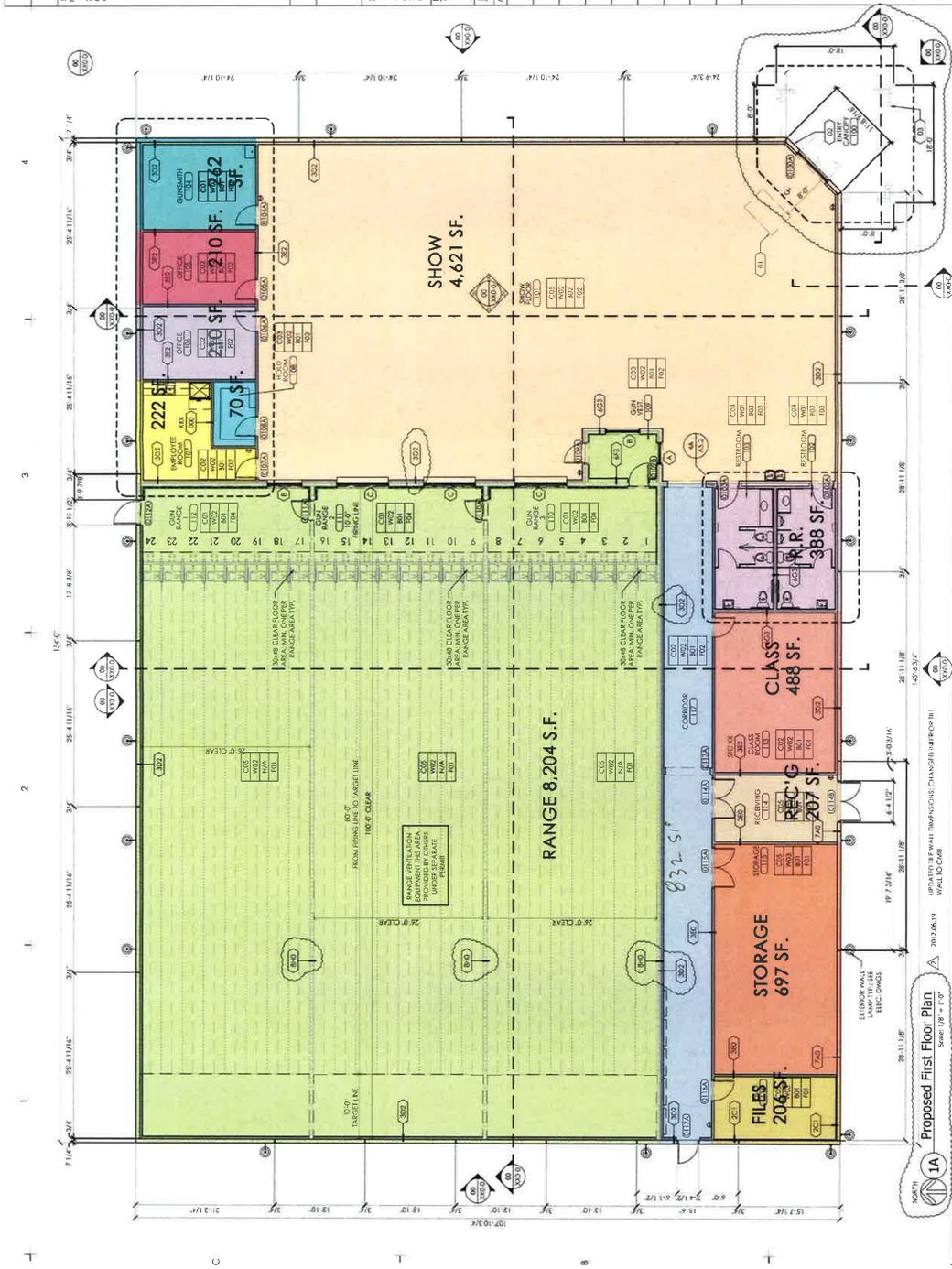
FLOOR: F01 - STAINED CONCRETE  
F02 - 1/4" POLISHED CONCRETE  
F03 - 1/4" POLISHED CONCRETE  
F04 - 1/4" POLISHED CONCRETE  
F05 - 1/4" POLISHED CONCRETE  
F06 - 1/4" POLISHED CONCRETE  
F07 - 1/4" POLISHED CONCRETE  
F08 - 1/4" POLISHED CONCRETE  
F09 - 1/4" POLISHED CONCRETE  
F10 - 1/4" POLISHED CONCRETE

WALL: W01 - 1/2" GYPSUM BOARD  
W02 - 1/2" GYPSUM BOARD  
W03 - 1/2" GYPSUM BOARD  
W04 - 1/2" GYPSUM BOARD  
W05 - 1/2" GYPSUM BOARD  
W06 - 1/2" GYPSUM BOARD  
W07 - 1/2" GYPSUM BOARD  
W08 - 1/2" GYPSUM BOARD  
W09 - 1/2" GYPSUM BOARD  
W10 - 1/2" GYPSUM BOARD

CEILING: C01 - 1/2" GYPSUM BOARD  
C02 - 1/2" GYPSUM BOARD  
C03 - 1/2" GYPSUM BOARD  
C04 - 1/2" GYPSUM BOARD  
C05 - 1/2" GYPSUM BOARD  
C06 - 1/2" GYPSUM BOARD  
C07 - 1/2" GYPSUM BOARD  
C08 - 1/2" GYPSUM BOARD  
C09 - 1/2" GYPSUM BOARD  
C10 - 1/2" GYPSUM BOARD

### KEYED NOTES

1. FLOOR COORDINATE BY ARCHITECT. REFER TO FLOORING CONTRACTOR.
2. CONCRETE WALL 5.0' AFF. AND CONCRETE ON CONCRETE WALL 5.0' AFF. REFER TO SOILS REPORT.
3. LOCATION OF 4" DIA. BOX COORDINATE WITH FIRE PROTECTION DRAWINGS BY OTHERS.



### Proposed First Floor Plan

Scale: 1/8" = 1'-0"

2013.06.19

REVISION: 2013.06.19

1/8" = 1'-0"

37'-0"

18'-0"

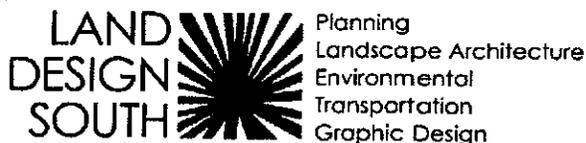
0

4'-0"

0

3'-0"

Page 93 of 204



Revised July 15, 2009  
April 10, 2009

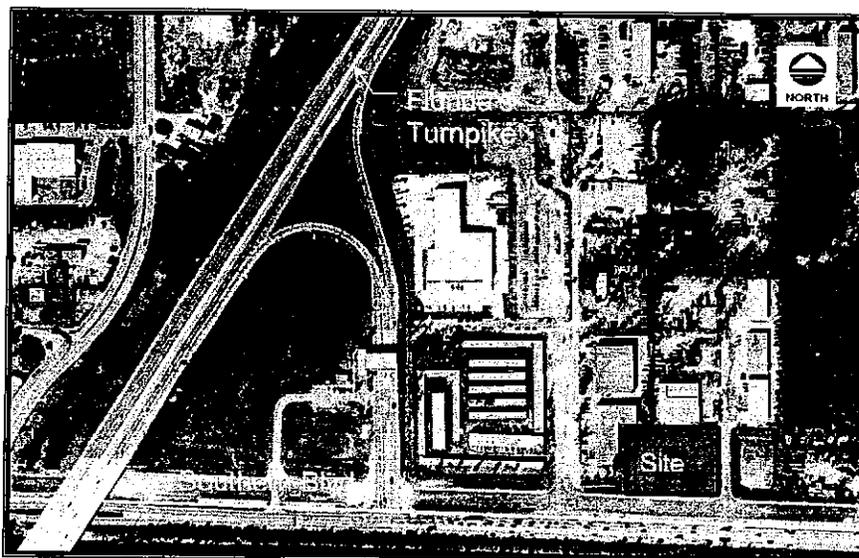
Greg Kino  
Casey Ciklin Lubitz Martens & O'Connell  
515 N. Flagler Dr.  
West Palm Beach, FL 33401

Re: Shoot Straight – Traffic Statement

Dear Mr. Kino,

Land Design South has been retained to evaluate a the traffic impact analysis to determine compliance with the Palm Beach County (PBC) - Traffic Performance Standards (TPS) - Article 12 of the PBC Unified Land Development Code (ULDC). This traffic statement is associated with the **DRO Site Plan application** for the **Shoot Straight** property. The project is located on the north side of Southern Boulevard, east of the Florida's Turnpike, in unincorporated PBC, Florida. Figure 1 shows an aerial view of the project location in relation to the transportation network. Parcel Control Number associated with this project are 00-42-43-27-05-006-3703 and 00-42-43-27-05-006-3802.

Figure 1: Project Location – Aerial View



Page 94 of 204

According to Article 12 of the PBC ULDC – Section 3.B, if a structure or building has been discontinued or abandoned for less than five (5) years prior to the time of the application, then the proposed project is eligible for an existing use credit. The 1.491-acre site has a building structure currently vacant. However, it functioned as a General Light Industrial parcel less than a year ago. For that reason, an existing use credit is accounted for in the trip generation. The proposed plan consists of a 13,500 SF enclosed gun range building, comprised of 14 shooting lanes and a 4,000 SF retail accessory use. See Appendix A for a copy of the proposed site plan. Proposed build-out for the **Shoot Straight** property is 2012.

**TABLE 1  
PM PEAK HOUR TRIP GENERATION ESTIMATES**

Phase	ITE Land-Use Category	ITE Land-Use (Code)	Indep Var	(1) ITE Rate or Equation	Size	Total Trips	(2) Pass-By Capture Rate	PASS-BY TRIPS			NET-NEW TRIPS			
								2-WAY	IN	OUT	2-WAY	IN	OUT	
<b>PROPOSED LAND-USES</b>														
1	Gun Shooting Range	PBC (3)	positions	0.12	24	3	0%	0	0	0	3	0	0	3
1	Specialty Retail	826 ITE /R	SF	$2.41 * (X) + 2$ 1.48	8,393	42	0%	0	0	0	42	20	20	22
2	Specialty Retail	826 ITE /R	SF	$2.41 * (X) + 2$ 1.48	9,000	43	0%	0	0	0	43	20	20	23
<b>TOTAL</b>						<b>88</b>		<b>0</b>	<b>0</b>	<b>0</b>	<b>88</b>	<b>40</b>	<b>48</b>	<b>48</b>

(1) The Trip Generation Rates were obtained from ITE Trip Generation Manual, 9th Edition.

(2) The Pass-By Capture Rate was based on the recommended rates from the ITE Trip Generation Handbook, 2nd Edition.

(3) Source: Palm Beach County Study and Fort Lauderdale Study (see Attachment A)

Table 1 shows the rates used in order to determine the trip generation for Daily, AM, and PM peak hour conditions. Project trip generation traffic rates for the existing development were based on the ITE Trip Generation, 8th Edition; see Appendix B for excerpts of the ITE manual - trip generation rates per acre.

Project trip generation traffic rates used for the proposed Gun Range development were provided by PBC Traffic Division via email; see Appendix C for PBC email regarding gun range trip rates. The subject rates were based on a 2007 trip generation survey at PBSO range located near the 20-mile bend in PBC. Per PBC Traffic Division request, the 4,000 SF accessory use (retail) had been taken into account separately in the trip generation analysis. Project trip generation traffic rates used for this accessory use were based on the PBC Trip Generation Rates, January 28, 2009.

**Table 1: Trip Generation Rates**

Land Use	ITE Code	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
General Light Industrial	110	51.8	83%	17%	7.51	22%	78%	7.26
Gun Range	-	0.84	96%	4%	0.14	5%	95%	0.12
General Commercial - Retail	820	155.09	61%	39%	1.00	48%	52%	13.70

Table 2 summarizes the net Daily, AM, and PM peak hour trips generated by the existing and proposed development. According to Table 2, net Daily and PM peak hour trips potentially generated due to the planned development are 115 and 7 trips respectively. Moreover, the proposed development will result in a trip reduction on the net AM peak hour trips.

**Table 2: Trip Generation**

Land Use	Intensity	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
<b>Exiting Development</b>								
General Light Industrial	1.491 acres	77	9	2	11	2	9	11
<b>Net Approved Traffic</b>		77	9	2	11	2	9	11
<b>Proposed Development</b>								
Gun Range	14 shooting lanes	12	2	0	2	0	2	2
General Commercial - Retail	4,000 SF	620	2	2	4	26	29	55
	Σ	632	4	2	6	26	31	57
<b>Pass-By</b>								
General Commercial - Retail	71%	440	1	2	3	18	21	39
<b>Net Proposed Traffic</b>		192	3	0	3	8	10	18
<b>Net New Traffic</b>		115	(6)	(2)	(8)	6	1	7

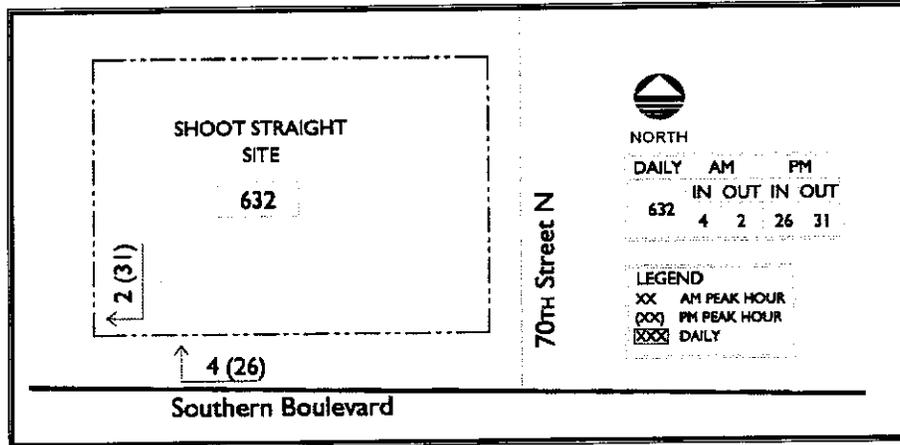
Page 96 of 204

The proposed development for the **Shoot Straight** property generates less than 20 peak hour trips. Based on Article 12 of the PBC ULDC – Chapter D, Section 1.c, if a property generates less than or equal to 20 Gross Peak Hour Trips then the property meets the PBC - TPS, Article 12 of the PBC ULDC requirements and does not require a traffic study.

There is one (1) proposed access point for the site along Southern Boulevard. Southern Blvd is the major roadway serving as the primary access road to the project and has an eight-lane (8) cross-section in the project vicinity. Figure 2 provides Daily, AM and PM peak hour driveway volumes for the 1.491-acre site at the project access point.

Based on the PBC – TPS and the Land Development Design Standards Manual, a left-turn lane is required at each driveway where inbound peak hour left-turning traffic is equal or grater than 30 vehicles. A right-turn lane is required at each driveway where street Average Daily Traffic (ADT) volumes exceed 10,000 vehicles per day, and driveway daily volume is grater than 1,000 trips, with inbound peak hour right-turning traffic being at least 75 vehicles. Figure 2 provides Daily, AM and PM peak hour driveway volumes for the site at the project access. Based on the information presented in this figure, PBC - TPS, and the Land Development Design Standards Manual, exclusive turn lanes are not required at the project driveway.

Figure 2: Project Driveway Volumes



The **Shoot Straight** development has been evaluated following the PBC TPS - Article 12 of the PBC ULDC. This analysis shows that the proposed development will potentially generate less than 20 peak hour trips. Therefore, the proposed development will be in compliance with the PBC TPS - Article 12 of the PBC ULDC and does not require a traffic study.

Sincerely,

LAND DESIGN SOUTH

*[Signature]*  
 Juan F. Ortega, P.E., Ph.D.  
 FL Registration No. 63422 7/16/09  
 Engineering Business No. 27550

- Encl.: **Appendix A:** Proposed Site Plan.
- Appendix B:** ITE Trip Generation Rates – General Light Industrial.
- Appendix C:** PBC email communication Traffic Rates – Gun Range.

Page 97 of 204



**General Light Industrial  
(110)**

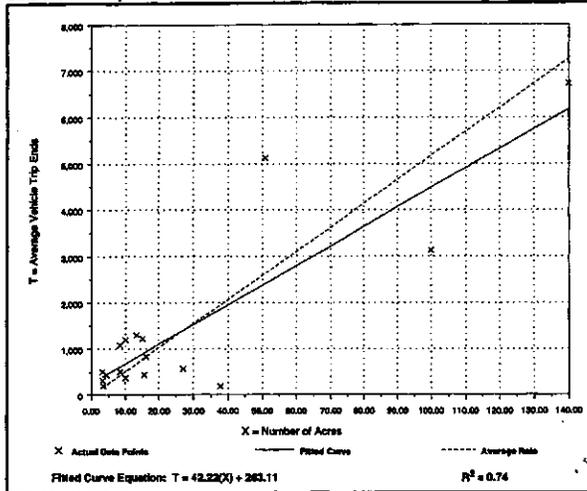
Average Vehicle Trip Ends vs: Acres  
On a: Weekday

Number of Studies: 17  
Average Number of Acres: 27  
Directional Distribution: 50% entering, 50% exiting

**Trip Generation per Acre**

Average Rate	Range of Rates	Standard Deviation
51.80	6.21 - 159.38	32.68

**Data Plot and Equation**



**General Light Industrial  
(110)**

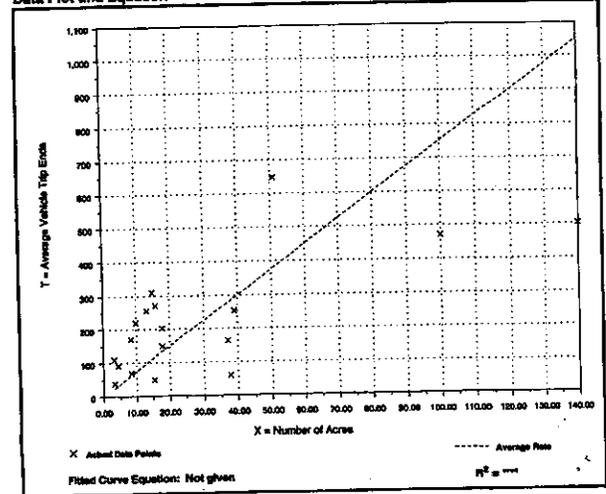
Average Vehicle Trip Ends vs: Acres  
On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 7 and 9 a.m.

Number of Studies: 18  
Average Number of Acres: 30  
Directional Distribution: 83% entering, 17% exiting

**Trip Generation per Acre**

Average Rate	Range of Rates	Standard Deviation
7.51	1.81 - 34.38	6.51

**Data Plot and Equation**



**General Light Industrial  
(110)**

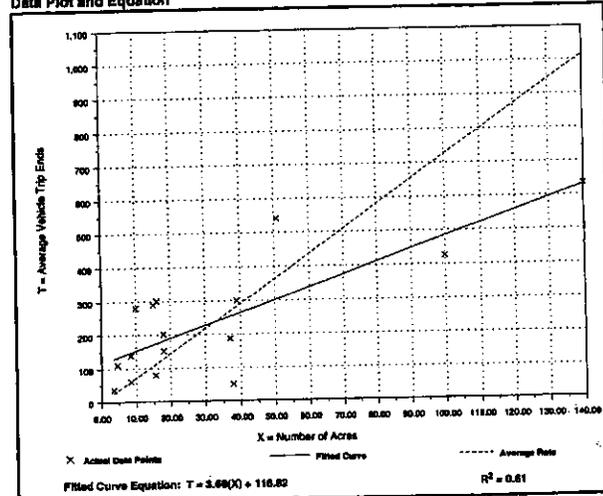
Average Vehicle Trip Ends vs: Acres  
On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 4 and 6 p.m.

Number of Studies: 18  
Average Number of Acres: 33  
Directional Distribution: 22% entering, 78% exiting

**Trip Generation per Acre**

Average Rate	Range of Rates	Standard Deviation
7.28	1.32 - 28.00	5.99

**Data Plot and Equation**



Juan F. Ortega

---

**From:** Nick Uhren [NUhren@pbcgov.org]  
**Sent:** Wednesday, January 28, 2009 8:58 AM  
**To:** Juan F. Ortega; Quazi Bari  
**Subject:** RE: Gun Range Trip Rate

Juan,  
We counted the PBSO range at 20-mile bend in Feb. 2007 and came up with 0.84 daily trips per firing position, 0.14 am trips (96% inbound) and 0.12 PM trips (95% outbound). That's probably a decent estimate for this type of use.

Nick

---

**From:** Juan F. Ortega [mailto:jortega@landdesignsouth.com]  
**Sent:** Tuesday, January 27, 2009 4:59 PM  
**To:** Nick Uhren; Quazi Bari  
**Subject:** Gun Range Trip Rate

Good afternoon Gentlemen,

I have a client that would like to build a Gun Range in unincorporated PBC. By any chance do you have a trip gen rate of something similar?

Thanks,

Juan



IBI Group (Florida) Inc.  
2200 Park Central Boulevard North – Suite 100  
Pompano Beach FL 33064 USA

tel 954 974 2200  
fax 954 973 2686

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

March 19, 2012

Mr. Randy Birchmier  
**Birchmier Construction, Inc.**  
549 North Wymore Rd., Suite 206  
Maitland, FL 32751

Re: **Shoot Straight**  
**IBI Project #31990**

Dear Mr. Birchmier:

The developers of Shoot Straight of Ft. Lauderdale are proposing a development consisting of an indoor shooting range with 24 firing positions and 4,498 square feet of retail on a site near the intersection of Riverland Rd. and State Road 7 (SR 7) in the City of Fort Lauderdale.

This office has previously been involved with the study of a different development on this site know as Value Place Hotel. This study was completed in 2008 and subsequently approved by the City of Ft. Lauderdale. At the time, the development consisted of a 120 room hotel. As indicated above, the current plan calls for a shooting range with 24 firing positions, supported by 4,498 square feet of related, supportive retail space. The Trip Generation Tables from the previous study have been updated to compare the difference in the trip generation characteristics for the new development vs the previously approved development. In addition, we have examined the historical traffic volumes on SR 7 and Riverland Rd. in the vicinity of the site to determine if there has been any significant change in the background traffic volumes in the area of the proposed development.

#### TRIP GENERATION

Since the Institute of Transportation Engineers has no specific trip generation rates for a gun range, a Palm Beach County study was utilized for the analysis of that facility. In February 2007, the Palm Beach County Traffic Engineering Division studied a Palm Beach County Sheriff's Office gun range. The results of that study showed that gun ranges generate traffic at the following rates:

Daily	0.84 trips per day per firing position
AM Peak Hour	0.14 trips per hour per firing position
PM Peak Hour	0.12 trips per hour per firing position

In order to calculate the amount of traffic anticipated to be generated by the retail component of this development, the ITE "Trip Generation" Report, 8<sup>th</sup> Edition, was consulted. The most representative trip generation rate for this use is Land Use Code 820 – Shopping Center. Because the size of the use is relatively small, the trip generation rate (rather than the formula) was utilized. Furthermore, since the retail use is supportive of and ancillary to the gun range, it was assumed that 50% of the traffic would be internal to the site. In actuality, the internalization figure will probably be higher, but in order to be conservative, the 50% internalization rate was used.

Table 1 summarizes the trip generation characteristics for the currently proposed development along with a comparison of the previously calculated traffic volumes. The new development mix is expected to generate 117 new vehicle trips on a daily basis, a decrease of 755 trips per day (representing an 86.6% reduction in anticipated traffic) from the previously studied development,

**Shoot Straight**  
 March 19, 2012  
 Page 2

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

as summarized in the Traffic Impact Study for Value Place Hotel (prepared by Land Design South in June 2008).

A similar analysis has been prepared to analyze both the AM and PM peak hour traffic generation. Referring to Table 1, the new development mix is expected to generate 5 AM peak hour trips as opposed to the previously calculated 70 trips (a 92.9% reduction). The PM peak hour trips will decrease from an anticipated 74 trips to 12 trips (an 83.8% decrease).

It is clear that the new development mix being proposed will generate significantly less traffic than the previous development mix, that was fully studied and approved in 2008, would have been expected to generate..

#### SURROUNDING ROADWAY TRAFFIC

The historical PM Peak Hour traffic volumes on both Riverland Rd. and SR 7 have been obtained through a review of data collected by the Florida Department of Transportation, and Broward County Metropolitan Planning Organization. Table 2 identifies PM Peak Hour traffic volumes for both roadways for both 2004 and 2009. Counts subsequent to that time are not available, nor would they be a true representation of traffic conditions in 2010 or 2011, due to the fact that I-595 construction began in 2010 and undoubtedly has had an effect on traffic in this area. As can be seen from the table, traffic volumes on both Riverland Rd. and SR 7 have been trending downward in the 5 year period. SR 7 showed a 3.76% decline in PM Peak Hour traffic volume during that 5-year period, while Riverland Rd. experienced a 4.40% decrease in PM Peak Hour traffic volume.

#### CONCLUSION

Based on the findings outlined in this letter indicating that (1) the proposed development currently being considered is expected to generate significantly fewer trips on both a Daily and PM Peak Hour basis than the previously studied and approved site plan, and (2) traffic volumes on the two adjacent roadways are lower than previously analyzed, it is our opinion that the conclusions stated in the previous study, completed and approved in 2008, are applicable to present conditions in March 2012. We therefore conclude that the proposed development of Shoot Straight is in compliance with the previously approved traffic impact study.

Yours truly,



Alan E. Tinter, P.E.  
 FL Reg. #28405  
 Managing Principal, Traffic Engineering

Xc: Gary Resnick, Esq.  
 Dennis Girisgen, P.E.  
 Jay Sajadi, P.E.

J:\31990\10.0 Reports\Traffic Study\TTL Trip Comparison 2012-03-15

<b>Table 1</b>					
<b>Shoot Straight of Ft. Lauderdale</b>					
<b>Traffic Comparison</b>					
<b>19-Mar-12</b>					
<b>Land Use</b>	<b>Develop. Size</b>	<b>Trip Rate Source</b>	<b>Daily Trips (vpd)</b>	<b>AM Peak Hour (vph)</b>	<b>PM Peak Hour (vph)</b>
Hotel*	120 Rms	ITE LUC 312	872	70	74
Gun Range	24 Firing Pos.	PBC**	20	3	3
Retail***	4,498 Sq. Ft.	ITE LUC 820	97	2	9
TOTAL			117	5	12
Net Decrease			755	65	62
% Decrease			86.6%	92.9%	83.8%

- \* Traffic data from previous approved traffic study "Value Place Hotel Traffic Impact Study", June 27, 2008, prepared by Land Design South
- \*\* Palm Beach County study (summarized in email from Nick Uhren, dated January 28, 2009)
- \*\*\* Assumed 50% internalization as retail is oriented towards users of the gun range

<b>Table 2</b> <b>Shoot Straight of Ft. Lauderdale</b> <b>Traffic Growth on Surrounding Roadways</b> <b>19-Mar-12</b>					
<b>Road</b>	<b>Location</b>	<b>Count Sta. Number</b>	<b>2004 PM Peak Hour Veh. per hr.</b>	<b>2009 PM Peak Hour Veh. per Hr.</b>	<b>% Change</b>
SR 7	North of Riverland	0010	4073	3920	-3.76%
Riverland Rd.	East of SR 7	7055	1182	1130	-4.40%



**To:** "Jane Caldera" <janecaldera07@gmail.com>, clarke.davis@mymanatee.org, "George M. McBee" <gmcbee@gmmdevco.com>  
**Cc:** jason.utley@mymanatee.org, Nelson.Galeano@mymanatee.org, paul.villaluz@mymanatee.org, "Peter Pensa" <peter.pensa@avidgroup.com>, "Richard  
**Bcc:**  
**Subject:** RE: Shoot Straight PDC-14-23(Z)(P)/DTS#20140302

---

RE: Shoot Straight - Traffic Impact Statement  
Petition # PDC-14-23(Z)(P)/DTS#20140302  
Consultant: Truckin Traffic, LLC.

Dear Ms. Caldera,

The Manatee County Public Works Department, Transportation Planning Division, has reviewed and approved the Traffic Impact Statement (TIS), revised December 3, 2014 as prepared by Truckin Traffic, LLC. Based on the data provided in this document, the Applicant has addressed the Comprehensive Plan requirements, and provided appropriate traffic-related information to substantiate the findings. In conjunction with this outcome, the Transportation Planning Division recommends transportation concurrency approval.

Please note that the project will directly impact Link # 3206 (University Parkway from U.S.301 to Tuttle Avenue) with 88 pm peak-hour trips. However, there are no off-site transportation concurrency improvements required for this project.

An access analysis was performed and it was determined that no right turn lane is warranted for phase one of this project. However, when the phase two application is submitted a full analysis of the site and a re-evaluation of the access points shall be performed.

The applicant has been advised of the need to work with Manatee County regarding right of way needs for University Parkway.

If you have any questions or require further assistance, please contact Clarke Davis at 941.708.7450 Ext 7272 or me at the number below.

Thank You,

Steve Kollar  
Transportation Systems Modeler  
AutoDesk Contract Administrator  
Manatee County Public Works Department  
Transportation Planning Division  
1022 26th Avenue East Bradenton Fl. 34208  
Phone (941) 748-4501 Ext. 7604  
steve.kollar@mymanatee.org

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Bradenton Herald**  
Jan. 29, 2015  
Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED  
MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II**  
(DTS #20140382)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC/ ALDI - BRADENTON**  
(DTS #20140444)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning\\_agenda@mymanatee.org](mailto:planning_agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.  
MANATEE COUNTY PLANNING COMMISSION

Manatee County Building  
and Development Services  
Department  
Manatee County, Florida  
01/29/2015

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Sarasota Herald-Tribune**

Jan. 29, 2015

Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II (DTS #20140382)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC / ALDI - BRADENTON (DTS #20140444)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning.agenda@mymanatee.org](mailto:planning.agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

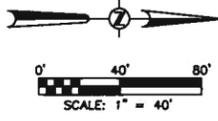
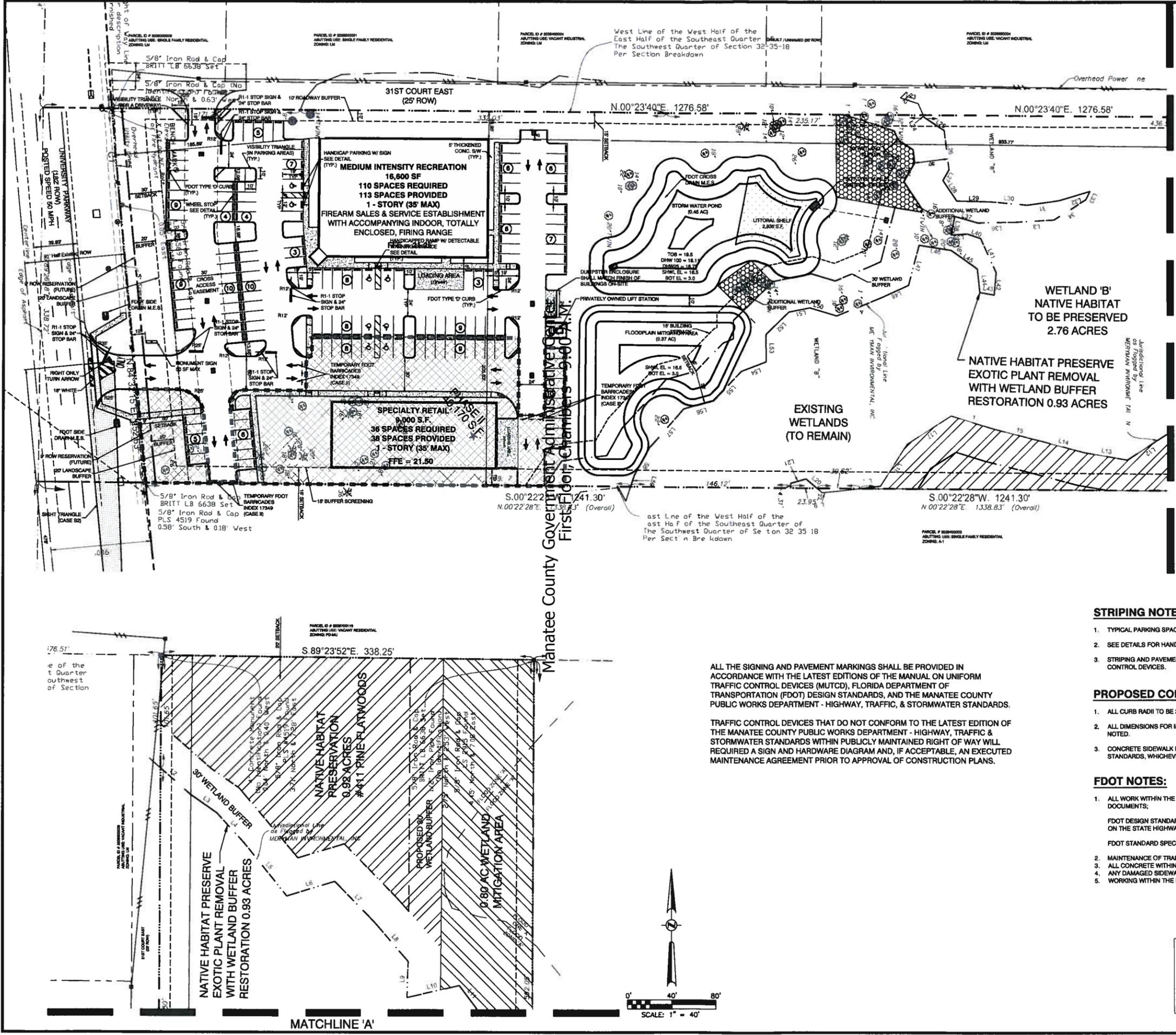
THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.

MANATEE COUNTY PLANNING COMMISSION

Manatee County Building and Development Services Department

Manatee County, Florida

Date of pub: January 29, 2015



**SITE LEGEND**

- HANDICAP PARKING
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED PHASE II CONSTRUCTION
- WETLAND MITIGATION AREA
- VISIBILITY TRIANGLE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- TYP TYPICAL
- HC HANDICAP
- Ⓜ 11 PARKING SPACES
- SW SIDEWALK
- RS 5' RADIUS
- LF LINEAR FEET
- SF SQUARE FEET

**SIGN LEGEND**

NO	TEXT OR SYMBOL	SIZE
R1-1	STOP	30"x30"
RS-1	NO RIGHT TURN	24"x24"
RS-7	LEFT LANE MUST TURN LEFT	30"x30"
RS-1	DO NOT ENTER	30"x30"
RS-1	ONE WAY	36"x12"

ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**STRIPING NOTES:**

- TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 6" WHITE STRIPE.
- SEE DETAILS FOR HANDICAP PARKING.
- STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

**PROPOSED CONSTRUCTION NOTES:**

- ALL CURB RADII TO BE 3 FEET AND AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS FOR INTERNAL PARKING LOTS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- CONCRETE SIDEWALK RAMP SHALL BE INSTALLED ACCORDING TO F.D.O.T. INDEX 304 OR A.D.A. STANDARDS, WHICHEVER IS MORE RESTRICTIVE.

**FDOT NOTES:**

- ALL WORK WITHIN THE FDOT R/W (SR-810) SHALL BE IN ACCORDANCE TO THE FOLLOWING DOCUMENTS:  
 FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM, 2010 (STANDARD INDEXES)  
 FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION)
- MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE TO FDOT INDEX 600, 613 & 660.
- ALL CONCRETE WITHIN THE FDOT R/W SHALL BE 6" THICK (CLASS 1) 3,000 PSI WITH FIBERMESH.
- ANY DAMAGED SIDEWALK OR CURBING ALONG THE R/W SHALL BE REMOVED AND REPLACED.
- WORKING WITHIN THE FDOT R/W IS RESTRICTED SUNDAY-THURSDAY 8:00 PM - 5:30 AM.

**BIRCHMIER CONSTRUCTION**  
 549 N. WYMORE RD., SUITE 206  
 MAITLAND, FL 32751  
 P: 407-786-9724  
 F: 407-786-9725

UNIVERSITY PARKWAY SHOOT STRAIGHT  
 MANATEE COUNTY, FL  
 HORIZONTAL CONTROL PLAN

SHOOT STRAIGHT, INC.  
 CIVIL ENGINEERING  
 2000 CURLEW ROAD, STE 201  
 PALM HARBOR, FLORIDA 34683  
 PHONE (727) 788-8500  
 FAX (727) 784-8682  
 AVID GROUP

PROJECT: UNIVERSITY PARKWAY SHOOT STRAIGHT  
 DATE: 10/28/2014  
 PROJECT MANAGER: R.C. KELLEY  
 PROJECT NO: 3120-002

NOT VALID WITHOUT ORIGINAL PROFESSIONAL SEAL AND SIGNATURE OF R.C. KELLEY, LICENSE NO. 12448

NO.	DATE	DESCRIPTION
1	10/28/2014	ISSUED FOR PERMITS

THESE PLANS MAY NOT BE COPIED AND/OR MODIFIED WITHOUT WRITTEN PERMISSION FROM AVID GROUPS. COPYRIGHT 2013.

February 12, 2015 Planning Commission Agenda  
Agenda Item #6

Subject

PDC-14-27(Z)(P)-DTS20140444-Aldi, Inc.-ALDI-Bradenton-Quasi-Judicial-Rossina Leider

Briefings

None

Contact and/or Presenter Information

Contact and Presenter:

Rossina Leider

Principal Planner

941 748 4501 ext. 6859

Contact:

Sonia Zambrano

Senior Planning Technician

941 748 4501 ext. 6207

Action Requested

RECOMMENDED MOTION:

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be CONSISTENT with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend ADOPTION of Manatee County Zoning Ordinance No. PDC-14-27(Z)(P); APPROVAL of the Preliminary Site Plan with Stipulations A.1-A.5, B.1, C.1, and D.1-D.4; GRANTING Special Approval for a project: 1) partially within the Coastal High Hazard Area (CHHA) per Manatee County Comprehensive Plan, and 2) adjacent to a perennial stream; ADOPTION of the Findings for Specific Approval; and GRANTING Specific Approval to alternatives to Sections 714.8.7 (Tree Replacement Size), 715.3.1.d (Minimum Required Landscaping – Vehicular Use Area), and 715.3.2 (Roadway Buffer Options) of the Land Development Code, as recommended by staff.

Enabling/Regulating Authority

Manatee County Comprehensive Plan

Manatee County Land Development Code

### Background Discussion

- The 3.87± acre vacant site is located on the northeast corner of the intersection of 53rd Avenue East (SR 70) and 45th Street East.
- The site is made-up of four parcels zoned GC (General Commercial – 1.41 acres), A-1 (Suburban Agriculture – 1.18 acres), and PR-M (Professional-Medium – 1.28 acres).
- The entire site is within the R/O/R (Retail/Office/Residential) FLUC and the northern portion of the site lies in the CHHA (Coastal High Hazard Area) per the Manatee County Comprehensive Plan (regulatory floodway of Gap Creek).
- The request is to rezone the property to PDC (Planned Development Commercial), and approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store). The site is eligible to be considered for commercial development since the R/O/R FLUC listed the proposed use (retail) in the range of potential uses.
- The Preliminary Site Plan will be developed in one phase and includes:
  - ? One building on the east portion of the site with a maximum Floor Area Ratio (FAR) of 0.10, and a maximum building height of 22.6' feet (one story).
  - ? 86 parking spaces including four (4) handicap spaces, and 12 bicycle spaces in six racks.
  - ? Loading zone and dumpster area north of the proposed building.
  - ? Two access points via functionally classified roadways as follows:
    - One from SR 70, an existing six-lane arterial roadway (right-in/right-out only), and
    - One from 45th Street East, a designated collector roadway (right-in/right-out only).
  - ? Internal driveways (25-feet to 30-feet wide) connecting the access points of the project with the parking area (west and south of the building) and the services zone (loading area and dumpster).
  - ? Stormwater facility on the southwest portion of the site.
  - ? 10 feet wide roadway buffer along SR 70, and an alternative for the required 10 feet wide buffer along 45th Street East which includes a 5 foot wide buffer adjacent to the right-of-way and an additional 8 foot wide buffer east of the stormwater pond.
  - ? Screening buffer:
    - 5 feet wide buffer along the southern portion of the east property line where the site is adjacent to an existing commercial use (8 feet wide separation is providing along to vehicular use area),
    - 15 feet wide buffer along the remaining portion of east property line adjacent to a single-family residences (northern 2/3 portion of the east buffer),
    - Foundation and vehicular use area landscaping is provided.
  - ? 45 % of open space (1.71 acres) which exceeds the minimum requirement in the PDC Zoning District (20%).
- Proposed improvements to widen 45th Street East from two to four travel lanes (Capital Improvement Project) has been incorporated into the project's design.
- There are 0.27acres of wetlands within the boundary of the project (portion of Gap Creek). There are no native habitat, and no know historic or archaeological resources on the site.
- The site lies in Zone X and AE with Base Floor Elevation (BFE) ranging from 9.6' to 10.5' NAVD per FIRM Panel 12081C0309E, effective 03/17/2014, and encroaches the regulatory floodway of Gap Creek (perennial stream). Special Approval is required to be granted by the Board of County Commissioners, through the planned development process, for a project:

- Located partially within the Coastal High Hazard Area (CHHA) per the Manatee County Comprehensive Plan, and
- Adjacent to a perennial stream.
- The purpose of the Special Approval request is satisfied since:
  - Proposed improvements do not encroach the regulatory floodway of Pearce Drain/Gap Creek,
  - A "Letter of Mitigation" will be required at "building permit" stage for proposed structural improvements within 50 feet of the regulatory floodway (retaining wall and dumpster enclosure).
  - The proposed site improvements are concentrated to the greatest extent outside of the 25-year and 100-year floodplains.
  - Compensatory storage will be required for proposed impacts within the 25-year and 100-year floodplains.
  - The proposed finish floor elevation of the building will be at least one-foot above Base Floor Elevation (BFE). The proposed finish floor elevation retail grocery store will at 13.50 feet.
- The applicant requests Specific Approval to:
  - Reduced replacement tree sizes (LDC Section 714.8.7)
  - Allow more than 10 consecutive parking spaces without a landscape island (LDC Section (LDC Section 715.3.1.d), and
  - Alternative for roadway buffer location (LDC Section 715.3.2).
- Staff supports all requested Specific Approvals. Staff recommends approval of this request, with stipulations.

County Attorney Review

Other (Requires explanation in field below)

Explanation of Other

Sarah Schenk reviewed and responded by email on January 13, 2015

Reviewing Attorney

Schenk

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

- Attachment: Map FLU-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf
- Attachment: Map Zoning-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf
- Attachment: Map Aerial 1-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf
- Attachment: Map Aerial 2-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf
- Attachment: Staff Report-PDC-14-27(Z)(P)ALDI-Bradenton-02-12-15 PC.pdf
- Attachment: Zoning Disclosure Affidavit-PDC-14-27(Z)(P)-ALDI-02-12-15PC.pdf
- Attachment: Specific Approval letter request-02-12-15 PC.pdf
- Attachment: Traffic Impact Analysis-Aldi-Bradenton PDC-14-27(Z)(P)-02-12-15PC.pdf

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Attachment: Address Plan-PDC-14-27(Z)(P)-Aldi-02-12-15PC.pdf

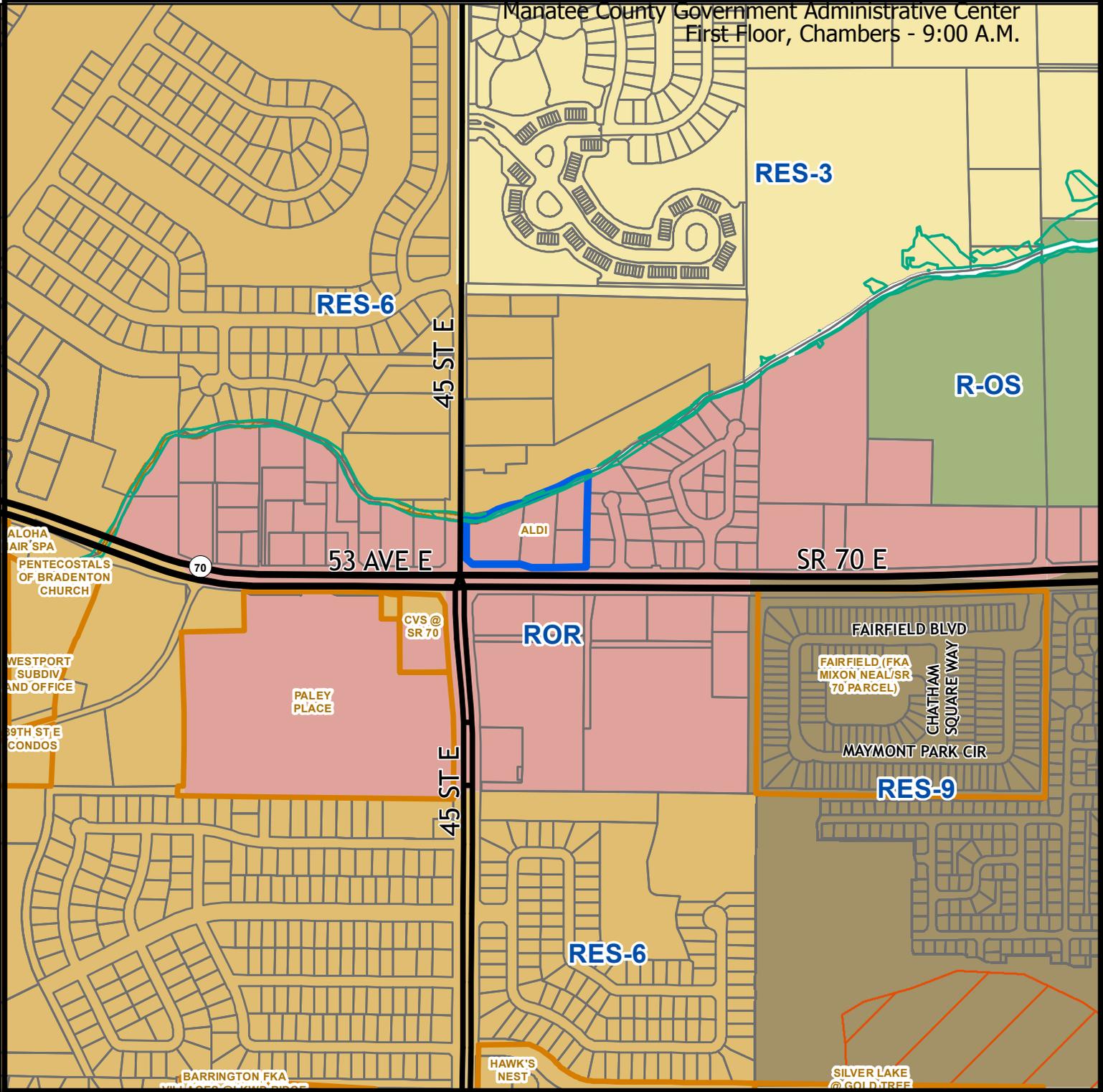
Attachment: Copy of Newspaper Advertising - Aldi - Bradenotn - PDC-14-27(Z)(P)- Bradenton Herald.pdf

Attachment: Copy of Newspaper Advertising - Aldi - Bradenton - PDC-14-27(Z)(P) - Sarasota Herald  
Tribune.pdf

Attachment: Preliminary Site Plan-Aldi-Bradenton PDC-14-27(Z)(P).pdf

# FUTURE LAND USE

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 1760700003, 1760200004, 1760200053, 1761100005

Project Name: Aldi – Bradenton  
Project #: PDC-14-27(Z)(P)  
DTS#: 20140444  
Proposed Use: Commercial



S/T/R: S9,16 T35 R18  
Acreage: 3.87  
Existing Zoning: GC, A-1, PR-M  
Existing FLU: ROR  
Overlays: NONE  
Special Areas: NONE

Page 115 of 204

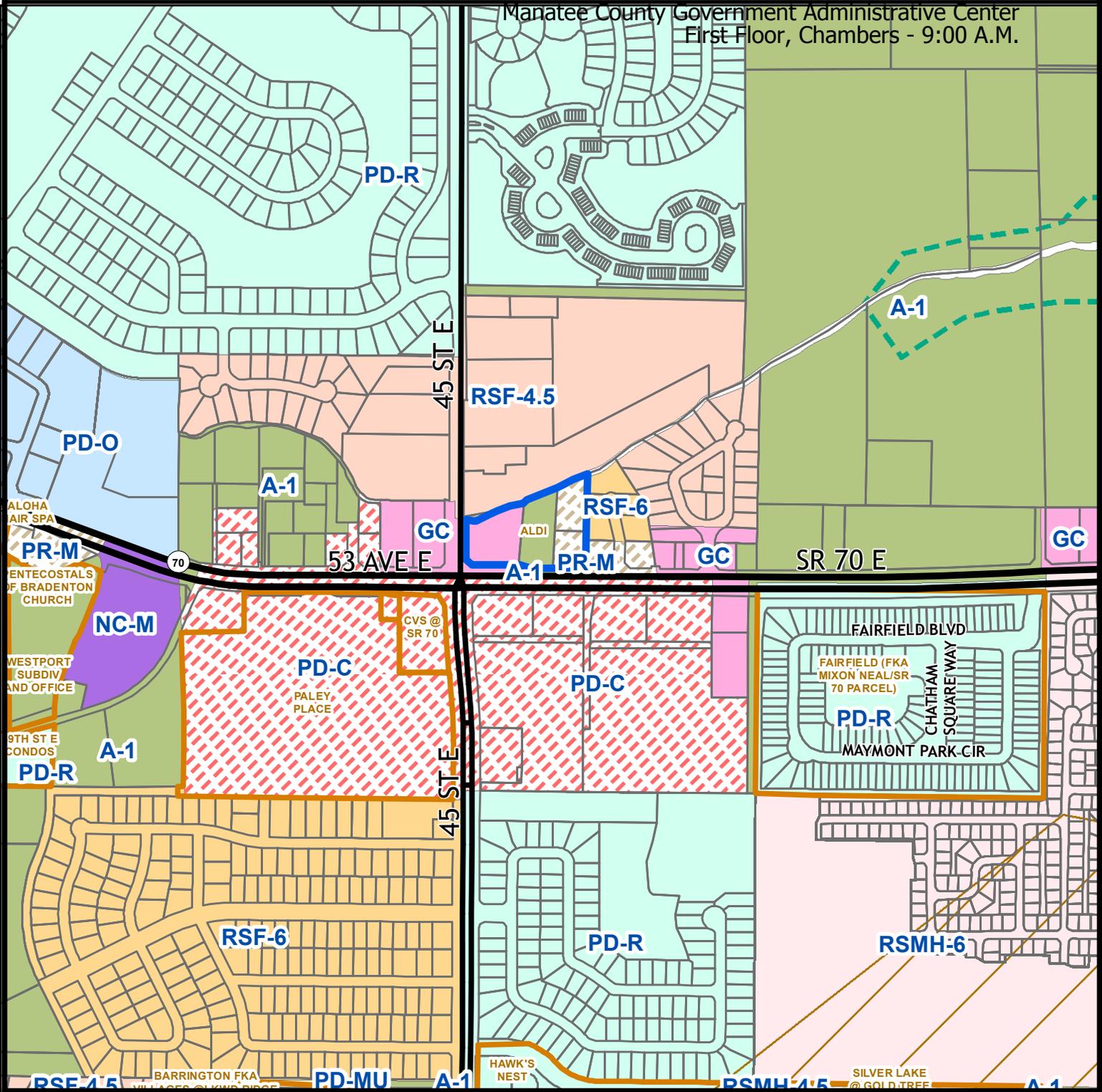
CHH: Y  
Watershed: NONE  
Drainage Basin: GAP CREEK  
Commissioner: Vanessa Baugh



Manatee County  
Staff Report Map  
Map Prepared 12 / 2014  
1 inch = 628 feet

# ZONING

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 1760700003, 1760200004, 1760200053, 1761100005

Project Name: Aldi – Bradenton  
Project #: PDC-14-27(Z)(P)  
DTS#: 20140444  
Proposed Use: Commercial

S/T/R: S9,16 T35 R18  
Acreage: 3.87  
Existing Zoning: GC, A-1, PR-M  
Existing FLU: ROR  
Overlays: NONE  
Special Areas: NONE

Page 116 of 204  
CHH: Y  
Watershed: NONE  
Drainage Basin: GAP CREEK  
Commissioner: Vanessa Baugh

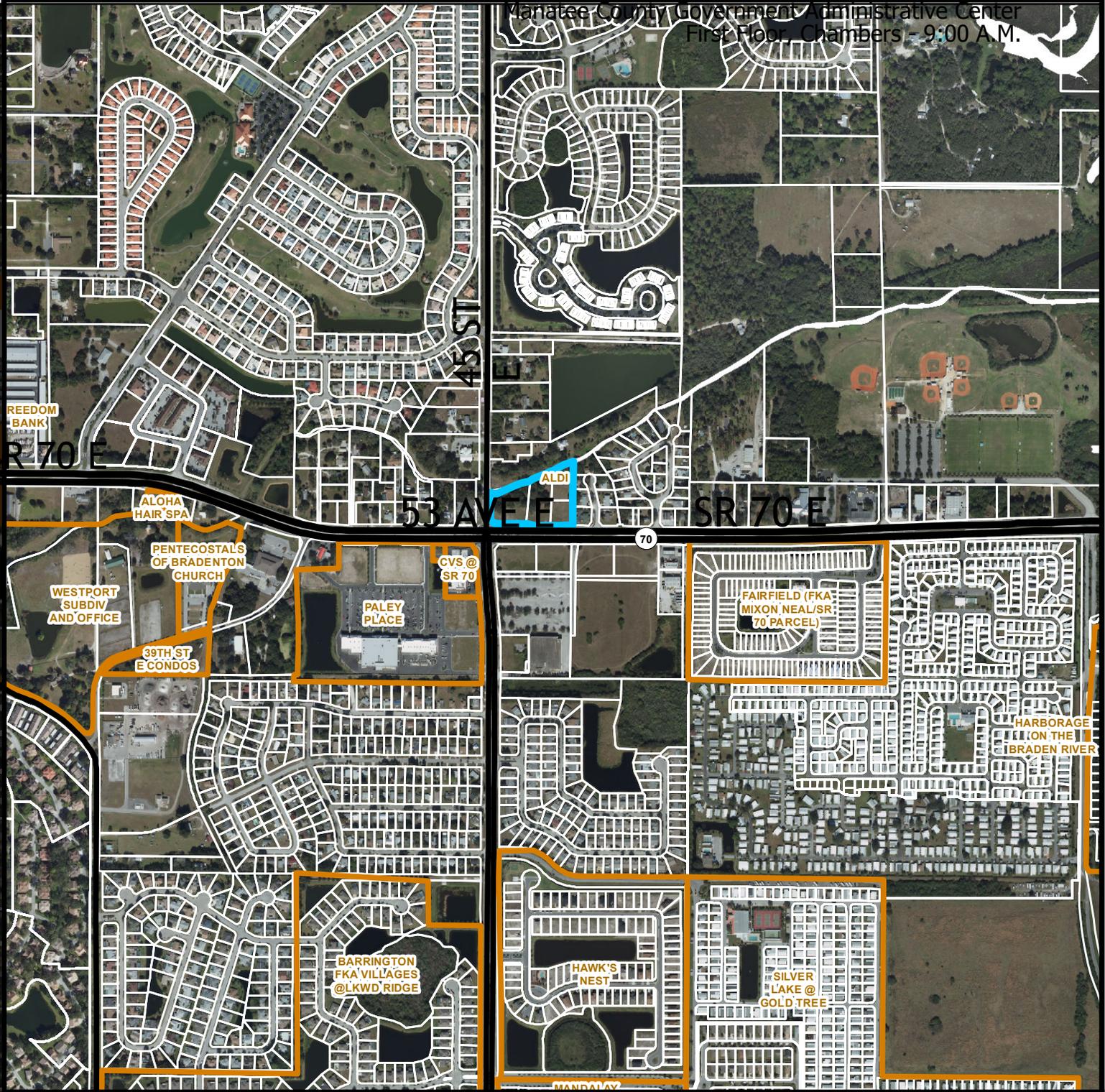
--- CHH - Zoning



Manatee County  
Staff Report Map  
Map Prepared 12 / 2014  
1 inch = 628 feet

# AERIAL

Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.



Parcel ID #(s) 1760700003, 1760200004, 1760200053, 1761100005

Project Name: Aldi – Bradenton  
 Project #: PDC-14-27(Z)(P)  
 DTS#: 20140444  
 Proposed Use: Commercial

S/T/R: S9,16 T35 R18  
 Acreage: 3.87  
 Existing Zoning: GC, A-1, PR-M  
 Existing FLU: ROR  
 Overlays: NONE  
 Special Areas: NONE

Page 117 of 204

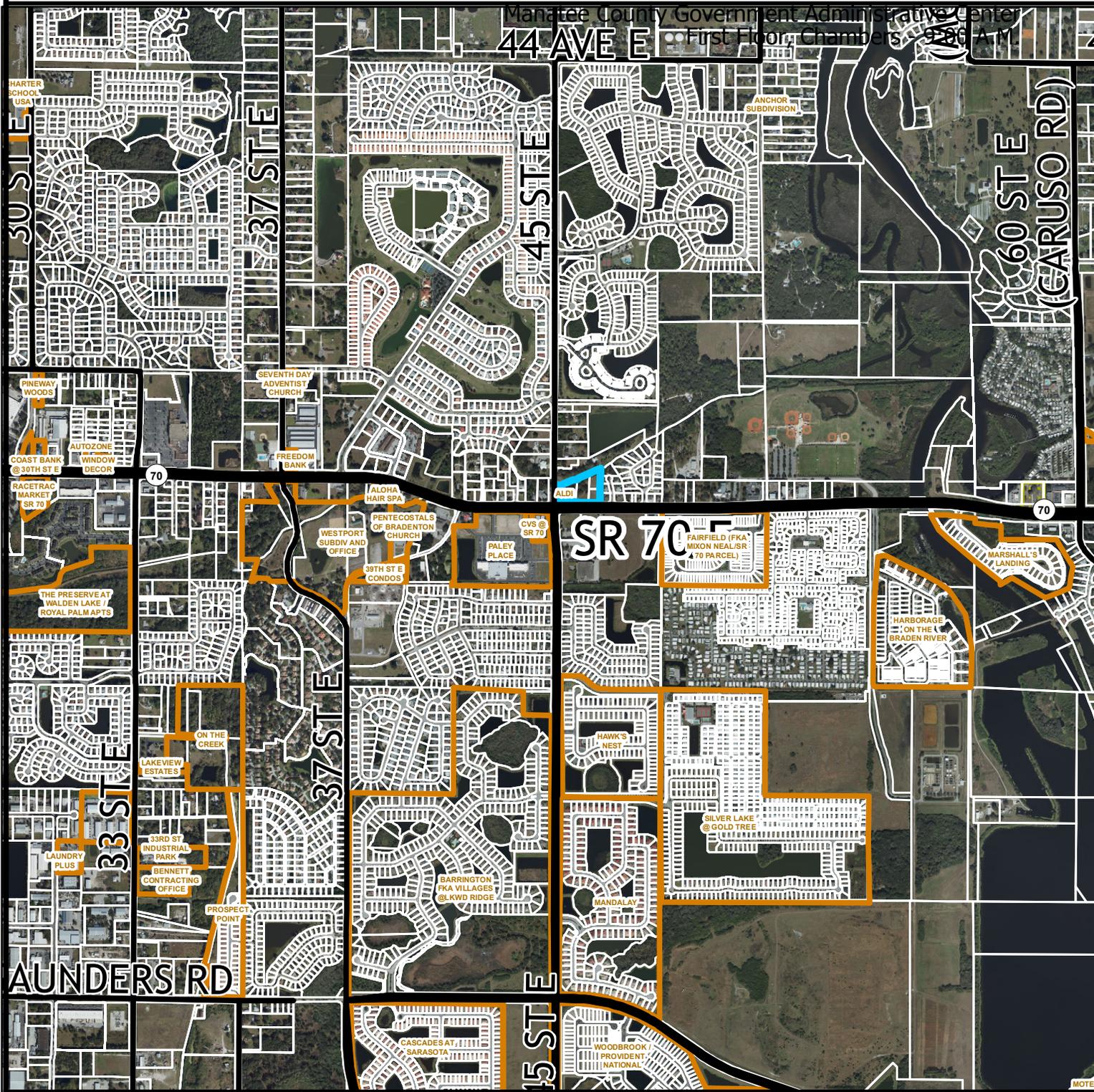
CHH: Y  
 Watershed: NONE  
 Drainage Basin: GAP CREEK  
 Commissioner: Vanessa Baugh

Manatee County  
 Staff Report Map  
 Map Prepared 12 / 2014  
 1 inch = 922 feet



# AERIAL

Manatee County Government Administrative Center  
 44 AVE E • First Floor, Chambers 9280 AM



Parcel ID #(s) 1760700003, 1760200004, 1760200053, 1761100005

Project Name: Aldi – Bradenton  
 Project #: PDC-14-27(Z)(P)  
 DTS#: 20140444  
 Proposed Use: Commercial

S/T/R: S9,16 T35 R18  
 Acreage: 3.87  
 Existing Zoning: GC, A-1, PR-M  
 Existing FLU: ROR  
 Overlays: NONE  
 Special Areas: NONE

CHH: Y  
 Watershed: NONE  
 Drainage Basin: GAP CREEK  
 Commissioner: Vanessa Baugh



P.C. 02/12/2015

**PDC-14-27(Z)(P) – Aldi, Inc. / ALDI – Bradenton (DTS #20140444)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53<sup>rd</sup> Avenue East (SR 70) and 45<sup>th</sup> Street East at 4525 53<sup>rd</sup> Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**P.C.: 02/12/2015**

**B.O.C.C.: 03/05/2015**

**RECOMMENDED MOTION:**

Based upon the staff report, evidence presented, comments made at the Public Hearing, and finding the request to be **CONSISTENT** with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to recommend **ADOPTION** of Manatee County Zoning Ordinance No. PDC-14-27(Z)(P); **APPROVAL** of the Preliminary Site Plan with Stipulations A.1-A.5, B.1, C.1, and D.1-D.4; **GRANTING** Special Approval for a project: 1) partially within the Coastal High Hazard Area (CHHA) per Manatee County Comprehensive Plan, and 2) adjacent to a perennial stream; **ADOPTION** of the Findings for Specific Approval; and **GRANTING** Specific Approval to alternatives to Sections 714.8.7 (Tree Replacement Size), 715.3.1.d (Minimum Required Landscaping – Vehicular Use Area), and 715.3.2 (Roadway Buffer Options) of the Land Development Code, as recommended by staff.

<b>PROJECT SUMMARY</b>	
<b>CASE#</b>	<b>PDC-14-27(Z)(P) - (DTS#20140444)</b>
<b>PROJECT NAME</b>	<b>ALDI - Bradenton</b>
<b>APPLICANT(S):</b>	<b>ALDI, Inc.</b>
<b>PROPOSED ZONING:</b>	<b>PDC (Planned Development Commercial)</b>
<b>EXISTING ZONING:</b>	<b>GC (General Commercial) – 1.41 acres                      A-1 (Suburban Agriculture) – 1.18 acres                      PR-M (Professional–Medium) – 1.28 acres</b>
<b>PROPOSED USE(S):</b>	<b>17,018 sq. ft. of retail use area (grocery store)</b>
<b>CASE MANAGER:</b>	<b>Rossina Leider</b>
<b>STAFF RECOMMENDATION:</b>	<b>APPROVAL</b>

**DETAILED DISCUSSION**

The 3.87± acre vacant site is located on the northeast corner of the intersection of 53<sup>rd</sup> Avenue East (SR 70) and 45<sup>th</sup> Street East. The site is made-up of four parcels zoned GC (General Commercial – 1.41 acres), A-1 (Suburban Agriculture – 1.18 acres), and PR-M (Professional-Medium – 1.28 acres). The entire overall site is within the R/O/R (Retail/Office/Residential) FLUC and the northern portion of the site lies in the CHHA (Coastal High Hazard Area) per the Manatee County Comprehensive Plan (regulatory floodway of Gap Creek).

The request is to rezone the property to PDC (Planned Development Commercial), and approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store). The applicant submitted a plan that will be developed in one phase and includes:

- One building on the east portion of the site with a maximum Floor Area Ratio (FAR) of 0.10, and a maximum building height of 22.6’ feet (one story).
- 86 parking spaces including four (4) handicap spaces, and 12 bicycle spaces in six racks.
- Loading zone and dumpster area north of the proposed building.
- Two access points as follows:
  - One from SR 70, an existing six-lane arterial roadway (right-in/right-out only),

- and
- One from 45<sup>th</sup> Street East, a designated collector roadway (right-in/right-out only).
  - Internal driveways (25-feet to 30-feet wide) connecting the access points of the project with the parking area (west and south of the building) and the services zone (loading area and dumpster).
  - Stormwater facility on the southwest portion of the site.
  - 10 foot wide roadway buffer along SR 70, and an alternative for the required 10 foot wide buffer along 45<sup>th</sup> Street East which includes a 5 foot wide buffer adjacent to the right-of-way and an additional 8 foot wide buffer east of the stormwater pond.
  - Screening buffer:
    - 5 foot wide buffer along the southern portion of the east property line where the site is adjacent to an existing commercial use (8 foot wide separation is provided along the vehicular use area),
    - 15 foot wide buffer along the remaining portion of east property line adjacent to a single-family residences (northern 2/3 portion of the east buffer),
    - Foundation and vehicular use area landscaping is provided, and
  - 45 % open space (1.71 acres) which exceeds the minimum requirement in the PDC Zoning District (20% required).

The site is eligible to be considered for commercial development since the R/O/R FLUC listed the proposed use (retail) in the range of potential uses, and exempts commercial projects from commercial locational criteria requirements (within 1,500 feet of two functionally classified roadways). However, access will be provided via two functionally classified roadways (SR 70 and 45<sup>th</sup> Street East).

The Preliminary Site Plan has been revised to incorporate a Manatee County Capital Improvement Project (CIP) to widen 45<sup>th</sup> Street East from S.R. 70 northward to the future extension of 44<sup>th</sup> Avenue East. 45<sup>th</sup> Street East will be widened from two to four travel lanes, including an additional southbound left turn-lane at the intersection of S.R. 70. County staff and the applicant have met on several occasions to coordinate the widening of 45<sup>th</sup> Street East with the onsite improvements associated with the proposed retail/grocery store. The Preliminary Site Plan reflects future right-of-way reservation. In addition, the proposed driveway entrance has been shifted northward, to the greatest extent possible, from the intersection of 45<sup>th</sup> Street east and S.R. 70. An auxiliary right-turn lane will be constructed at the driveway entrance in conjunction with the widening of 45<sup>th</sup> Street East.

The project will be required to provide attenuation of stormwater runoff and demonstrate that post-development runoff is equal to or less than the pre-development condition. In addition, the project will be required to provide compensatory storage for impacts within the 25-year and 100-year floodplain. Floodplain compensation will be provided in either a scrape-down area along Pearce Drain or volume above the 25-year Design High Water Level (DHWL) within the proposed retention pond. Stormwater design and calculations will be reviewed in greater detail with the Final Site Plan/Construction Plan submittal.

The site lies in Zone X and AE with Base Floor Elevation (BFE) ranging from 9.6' to 10.5' NAVD per FIRM Panel 12081C0309E, effective 03/17/2014, and encroaches the regulatory

floodway of Gap Creek (perennial stream). Special Approval is required to be granted by the Board of County Commissioners, through the planned development process, for a project adjacent to a perennial stream, and partially within the Coastal High Hazard Area (CHHA per the Manatee County Comprehensive Plan). The purpose of the Special Approval request is satisfied since:

- Proposed improvements do not encroach the regulatory floodway of Pearce Drain/Gap Creek,
- A “Letter of Mitigation” will be required at “building permit” stage for proposed structural improvements within 50 feet of the regulatory floodway. The Preliminary Site Plan reflects retaining wall and dumpster enclosure within 50 feet of the regulatory floodway. The proposed retail/grocery store is located outside of the floodway and 50 feet offset.
- The proposed site improvements are concentrated to the greatest extent outside of the 25-year and 100-year floodplains.
- Compensatory storage will be required for proposed impacts within the 25-year and 100-year floodplains.
- The proposed finish floor elevation of the building will be at least one-foot above Base Floor Elevation (BFE). The Base Flood Elevation ranges from 9.6-10.5 feet (NAVD), whereas the Preliminary Site Plan reflects the proposed finish floor elevation retail grocery store will at 13.50 feet.

There are 0.27 acres of wetlands within the boundary of this proposal (portion of Gap Creek within the project limits per SWFWMD ERP). There are no native habitat, and known historic or archaeological resources on the site.

The applicant requests Specific Approval to:

- Reduced replacement tree sizes (LDC Section 714.8.7)
- Allow more than 10 consecutive parking spaces without a landscape island (LDC Section (LDC Section 715.3.1.d), and
- Alternative for roadway buffer location (LDC Section 715.3.2).

Staff supports all requested Specific Approvals. Staff recommends approval of this request, with stipulations.

<b>SITE CHARACTERISTICS AND SURROUNDING AREA</b>	
<b>ADDRESS:</b>	<b>4525 53<sup>rd</sup> Avenue East</b>
<b>GENERAL LOCATION:</b>	<b>NE corner of 53<sup>rd</sup> Avenue East (SR 70) and 45<sup>th</sup> Street East</b>
<b>ACREAGE:</b>	<b>3.87 ± acres</b>
<b>EXISTING USE(S):</b>	<b>Vacant</b>
<b>FUTURE LAND USE CATEGORY(S):</b>	<b>R/O/R (Retail/Office/Residential)</b>

<b>FLOOR AREA RATIO (FAR):</b>	<b>0.10</b>		
<b>SPECIAL APPROVAL(S):</b>	<ol style="list-style-type: none"> <li>1. Project located partially within the Coastal High Hazard Area (CHHA) per Manatee County Comprehensive Plan</li> <li>2. Adjacent to a perennial stream</li> </ol>		
<b>OVERLAY DISTRICT(S):</b>	Coastal High Hazard Area (CHHA) per Manatee County Comprehensive Plan		
<b>SPECIFIC APPROVAL(S):</b>	<ol style="list-style-type: none"> <li>1. Reduced replacement tree size</li> <li>2. Allow more than 10 consecutive parking space without a landscape island</li> <li>3. Alternative for roadway buffer location</li> </ol>		
<b>SURROUNDING USES &amp; ZONING</b>			
<b>NORTH</b>	Single-family residence zoned RSF- 4.5 (Residential Single-Family- 4.5 dwelling units per acre)		
<b>SOUTH</b>	Across 53 <sup>rd</sup> Avenue East (SR 70), vacant commercial development zoned PDC (Planned Development Commercial)		
<b>EAST</b>	Personal Service Establishment (barber shop) zoned PR-M (Professional-Medium) and single-family residences zoned RSF-6 (Residential Single-Family-6 dwelling units per acre)		
<b>WEST</b>	Across 45 <sup>th</sup> Street East, convenience store w/gas station (7-11) zoned GC (General Commercial)		
<b>SITE DESIGN DETAILS</b>			
<b>LOT SIZE(S):</b>	3.87 ± acres (168,768 sq. ft.)		
<b>SETBACKS:</b>		<b>Required</b>	<b>Provided</b>
	Front	30' along SR 70	99.9'
	Front	30' along 45 <sup>th</sup> St	408.1'
	East Side	15'	15.9'
	North Side	15'	109.4'
	Wetland buffer	15'	29'
<b>OPEN SPACE:</b>	20% or 0.77 acres (33,754 sq. ft.) required 45% or 1.71 acres (74,547 sq. ft.) provided		
<b>ACCESS:</b>	<b>Two access points:</b> <ul style="list-style-type: none"> <li>• One access point along SR 70 (right-in/right-out only)</li> <li>• One access point along 45<sup>th</sup> Street E (right-in/right-out only)</li> </ul>		

<b>FLOOD ZONE(S)</b>	<b>Zones X and AE with Base Floor Elevation from 9.6’ to 10.5’ NAVD 1988 per FIRM Panel 12081C0309E, effective 3/17/2014</b>
<b>AREA OF KNOWN FLOODING</b>	<b>Yes, rainfall. Watershed/Basin: Pearce Drain. Site encroaches the regulatory floodway of Gap Creek.</b>
<b>UTILITY CONNECTIONS</b>	<b>Water and sewer available</b>
<b>ENVIRONMENTAL INFORMATION</b>	
<b>Overall Wetland Acreage:</b>	<b>0.27 acres (per SWFWMD ERP)</b>
<b>Proposed Impact Acreage:</b>	<b>None</b>
<p><b><u>Wetlands</u></b>                  According to the environmental narrative provided by Meryman &amp; Associates dated March 2014 there are no wetlands on-site. However, the SWFWMD ERP provided for the project indicates there are 0.27 acres of wetlands within the project limits (the portion of Gap Creek or Jeff’s Creek that is within the project boundary). There are no impacts proposed to or approved by the ERP for this wetland. The applicant is providing a 30’ wetland buffer, which will contain a 20’ wide drainage maintenance easement which will begin from the top of bank of the creek and extend out. If wetland buffer plantings are required within the 20’ easement the species and placement will be coordinated with Stormwater Management personnel before being approved with the Final Site Plan.</p> <p><b><u>Uplands</u></b>                  According to the environmental narrative there is one area of 420 – Upland Hardwood Forests which has little or no understory vegetation. Since the parcels were single-family uses in the past, this area may not be considered “native habitat”.</p> <p><b><u>Endangered Species</u></b>                  According to the environmental narrative various listed species have “potential habitat on-site”. The narrative indicated that a detailed Wildlife Survey should be conducted and the results formally documented. Staff will provide a stipulation to require this be done with the Final Site Plan.</p> <p><b><u>Trees</u></b>                  According to the Preliminary Tree Removal Plan there will be 49 trees and 20 palms removed and 25 trees and 7 palms preserved (within the 30’ wetland buffer). There are some trees that were inventoried that indicate unknown species. These trees will be identified prior to Final Site Plan approval to determine whether they are subject to replacement. Replacement quantities will be fulfilled by the proposed landscape materials shown on the Preliminary Landscape Plan. A note is also provided on the sheet stating that tree replacement will be in accordance with Section 714.8.7 of the LDC and with the Specific Approval for smaller replacement tree sizes, to be approved with the Final Site Plan.</p>	

**Landscaping/Buffers**

The required 10' wide roadway buffer is provided along the SR 70 frontage, and indicates the plantings will be in accordance with the LDC. The roadway buffer along 45<sup>th</sup> St. E. will be provided at 5' in width starting at the southwest corner of the project area and up to the south edge of the access driveway off of 45<sup>th</sup> Street East and there will be a short segment of the buffer immediately north of the driveway, approximately 20' long. The remainder of the frontage is taken up with the driveway and the wetland buffer as well as creek. The applicant is requesting Specific Approval for an alternative to Section 715.3.2 - Buffer Zones to allow 5' of the roadway buffer to be located in the customary location, adjacent to the right-of-way and an additional 8' of roadway buffer area to be planted at the east side of the stormwater pond. This arrangement is necessary due to the additional right-of-way required by the County for a roadway improvement project that is under way for 45<sup>th</sup> Street East. The alternative proposed by the applicant will provide more than what is required by the LDC and will exceed the intent of the section.

Perimeter buffers are provided at the required 15' width along approximately 2/3 of the east boundary (northern 2/3) where the project abuts residential uses and 8' for the balance of this property line, where a minimum 5' wide perimeter buffer is required, with a minimum 8' separation between the vehicle use area and the property line.

The Preliminary Landscape Plan indicates foundation landscaping will be provided in accordance with the LDC. Species and quantities of plant material will be reviewed and approved with the Final Site Plan. Staff will recommend Specific Approval be granted for an alternative to Section 714.8.7 of the LDC to allow smaller replacement tree sizes of 3" /4"/4" in lieu of 3"/5"/7".

**NEARBY DEVELOPMENT**

<b>NON-RESIDENTIAL</b>				
<b>PROJECT</b>	<b>SQ. FT.</b>	<b>F.A.R.</b>	<b>FLUC</b>	<b>YEAR APPROVED</b>
Paley Place	180,000 sq. ft. commercial retail	0.18	RES-6 & R/O/R	2011
CVS Pharmacy	15,523 sq. ft. commercial retail	0.29	R/O/R	2004
West Lakes Plaza	224,459 sq. ft. commercial subdivision	0.22	R/O/R	1999
<b>RESIDENTIAL</b>				
<b>PROJECT</b>	<b>LOTS / UNITS</b>	<b>DENSITY</b>	<b>FLUC</b>	<b>YEAR APPROVED</b>
Fairfield	184	6.62 du/acre	RES-9	2007
Braden Crossing	111	3.22 du/acre	RES-6	1996
Arbor Reserve	95	2.53 du/acre	RES-6	2013
Barrington Ridge	313	2.18 du/acre	RES-6	2005
Sabal Harbour	418	2.00 du/acre	RES-3	1998
<b>POSITIVE ASPECTS</b>				
<ul style="list-style-type: none"> <li>• The site is in an area where there is a mix of commercial and residential uses. The timing appears to be consistent with development trends in the surrounding area.</li> <li>• The proposed facility will provide more retail choices (grocery store) for residents, motorists, and visitors to the area.</li> <li>• The site has frontage and direct access points via two classified roadways as SR 70 (arterial) and 45<sup>th</sup> Street East (collector).</li> <li>• The project incorporates into the design proposed widening improvements to 45<sup>th</sup> Street East.</li> </ul>				
<b>NEGATIVE ASPECTS</b>				
<ul style="list-style-type: none"> <li>• The adjacent residential areas to the north and northeast may be impacted by noise.</li> </ul>				
<b>MITIGATING MEASURES</b>				

- **Proposed building will be setback at least 15 feet away to adjacent residential properties, and adequate screening is provided.**
- **No parking areas are located along to north and northeast property lines adjacent to residential lots.**

### **STAFF RECOMMENDED STIPULATIONS**

#### **A. DESIGN AND LAND USE CONDITIONS:**

1. All roof mounted HVAC equipment shall be screened from view from adjacent roadways and residential uses. Screening shall consist of similar colors and materials consistent with the construction of the exterior finish of the buildings. Details of screening shall be submitted with the Final Site Plan.
2. Dumpster screening shall consist of building materials and color matching the grocery store building on site.
3. There shall no on-site outdoor storage of goods or equipment, including pallets, during non-business hours. This shall exclude permanent features such as ice machines, propane tanks, and vending machines.
4. Hours of operation shall be from 8:00 a.m. to 10:00 p.m. each day. Deliveries shall be during the hours from 7:00 a.m. to 10:00 p.m. Construction hours shall be from 7:00 a.m. to 8:00 p.m. Monday thru Saturday.
5. There shall be no loading, or unloading of tractor trailer or semi-trucks involved in deliveries between the hours of 10:00 p.m. and 7:00 a.m. During this time, there shall be no use of forklifts or other loading or unloading devices; and running of trucks of trailer motors, or other refrigeration devices installed thereon.

#### **B. INFRASTRUCTURE CONDITIONS:**

1. Connection to the County wastewater system is required pursuant to the Manatee County Comprehensive Plan. The cost of connection, including the design, permitting and construction of off-site extensions of lines, shall be the responsibility of the Applicant. Such off-site extension shall be designed and constructed in accordance with the County's Wastewater System Master Plan. The connection shall be designed, engineered and permitted by the Applicant consistent with Manatee County Public Works Standards and approved by County Engineer through the construction plans review process for the project.

#### **C. STORMWATER CONDITIONS:**

1. A Drainage Easement shall be dedicated to Manatee County and be shown on the

Final Site Plan along Gap Creek/Pearce Drain within the project boundaries. In addition, a 20 feet wide Drainage-Maintenance Access Easement shall be provided along the southern top-of-bank. Manatee County is only responsible for maintaining the free flow of drainage through these systems.

**D. ENVIRONMENTAL CONDITIONS:**

1. Prior to Final Site Plan approval the applicant shall provide a formal listed species survey for the project area.
2. A Conservation Easement for the areas defined as post-development jurisdictional wetlands/wetland buffers shall be dedicated to the County prior to Final Site Plan approval.
3. A Construction Water Quality Monitoring Program and proposed sampling locations are required to be included in the ESCP information on the Final Site Plan in accordance with Section 519 of the LDC.
4. Irrigation for landscaping shall use the lowest water quality source available, which shall be identified on the Final Site Plan. Use of Manatee County public potable water supply shall be prohibited.

**REMAINING ISSUES OF CONCERN – NOT RESOLVED OR STIPULATED**

None

**COMPLIANCE WITH LDC**

Standard(s) Required	Design Proposal	Compliance		Comments
		Y	N	
<b>BUFFERS</b>				
10' roadway buffer along SR 70	10' wide shown w/2 canopy trees & 33 shrubs per 100 LF	Y		Meets standard
10' roadway buffer along 45 <sup>th</sup> Street	5' wide along 45 <sup>th</sup> St. E. w/2 canopy trees and 33 shrubs per 100 LF & 8' wide east of the stormwater pond planting			Applicant request Specific Approval to provide an alternative to the roadway buffer location

	<b>w/3 canopy trees per 100 LF and shrubs (80% opacity at 42" height)</b>			
<b>5' perimeter buffer adjacent to commercial use (east buffer)</b>	<b>5' wide (8' separation is provided along vehicular use area) planting w/ 2.5 canopy trees &amp; 33 shrubs per 100 LF</b>	<b>Y</b>		<b>Meets standard</b>
<b>15' perimeter buffer adjacent to residential use</b>	<b>15' wide shown planting w/ 2.5 canopy trees &amp; 33 shrubs per 100 LF</b>	<b>Y</b>		<b>Meets standard</b>
<b>Foundation landscaping</b>	<b>Shown</b>	<b>Y</b>		<b>Meets standard</b>
<b>SIDEWALKS</b>				
<b>5' wide sidewalks, exterior along SR 70 &amp; 45<sup>th</sup> Street East</b>	<b>6' wide</b>	<b>Y</b>		<b>Meets standard</b>
<b>ROADS &amp; RIGHTS-OF-WAY</b>				
<b>24' internal driveways (two-way)</b>	<b>25' wide minimum (30' at entrances)</b>	<b>Y</b>		<b>Meets standard</b>
<b>COMPLIANCE WITH THE LAND DEVELOPMENT CODE                  Factors for Reviewing Proposed Site Plans (Section 508.6)                  Planned Districts - Rezone Review Criteria (Section 603.4)</b>				
<p><b>Physical Characteristics</b>                      The ±3.87-acre vacant site is made-up by four parcels and has a trapezoidal shape with frontage along the SR 70 (±516 feet - south property boundary) and 45<sup>th</sup> Street East (±197 feet - west property boundary). The site encroaches the regulatory floodway of Gap Creek that flows through the northern portion of the site with direction southwest– northeast. There is no native habitat on-site, and according to the SWFWMD Environmental Resource Permit (ERP) there are 0.27 acres of wetlands (portion of the Gap Creek within the project limits).</p> <p><b>Public Utilities, Facilities and Services</b>                      The site will be served by County water and sewer. The following water and wastewater</p>				

facilities are in the vicinity of the project:

- Water: 30" potable water main along 45<sup>th</sup> Street East, and 36" potable water main along SR 70.
- Sewer: 10' sanitary gravity sewer with a service to the development site along SR 70, and 8" sanitary force main along 45<sup>th</sup> Street East.
- Reclaimed: 8" reclaimed water at the southwest corner of Lockwood Ridge Road and SR 70.

### **Compatibility**

The site is surrounded to the north, and the northeast by single-family residential units zoned RSF-4.5 and RSF-6. To the southeast, there is a personal services establishment (barber shop) zoned PR-M. To the south, across SR 70, there is a vacant commercial site (West Lakes Plaza) zoned PDC, and further to the southwest there are several commercial sites (CVS Pharmacy and Paley Place Commercial Shopping Center). To the west, across 45<sup>th</sup> Street East there is a convenience store with gas pumps (7-11) zoned GC. The proposed use is comparable and consistent with the existing commercial development trends and patterns of nearby properties to the west, south, and southeast along SR 70.

PDC zoning requires approval of a site plan by the Board of County Commissioners to address any compatibility concerns. Also, PDC zoning provides greater flexibility for the project to establish appropriate buffers to help minimize any compatibility and transition concerns with the surrounding residential zoning and land uses to the north and northeast.

### **Transitions**

The site is located at the intersection of two major thoroughfares (SR 70 and 45<sup>th</sup> Street East) in an area that has been developed mostly with a mix of commercial and residential uses. The timing of this request appears to be consistent with the growing development trends in the surrounding area.

### **Design Quality, Streets, and Driveways**

The applicant proposes a preliminary site plan for 17,018 square feet of commercial retail use (grocery store) in one-story building located on the east portion of the site. Associate parking areas are proposed to the west and south of the building, and service areas (loading space and dumpster) to the north of the structure. The stormwater facility will be located at the southwest portion of the site.

No new streets are proposed. The site plan shows internal driveways (25-feet to 30-feet wide) connecting the access points of the project along SR 70 and 45<sup>th</sup> Street East with the parking area and service zones. No parking areas and loading zone will be visible from adjacent residential zoning or uses, and adequate setbacks have been provided.

### **Relationship to Adjacent Property**

The north and northeast of the site are residential properties. The proposed building will be separated at least 109.4' feet from the north property line, and 15.9' feet from the northeast property line. To the west, the proposed buildings will be setback 408' feet away from the 45<sup>th</sup> Street East, and 99.9' to the south property line along SR 70.

**Parking and Service Areas**

A total of 85 parking spaces (1 space per 200 sq. ft. of gross floor area) and eleven bicycle spaces (1 space per 1,000 sq. ft. of gross floor area for the first 10,000 sq. ft. and 1 per 10,000 sq. ft. gross floor area thereafter) are required. The site plan shows 86 parking spaces to be provided including 4 (four) handicap spaces, and 12 bicycle spaces in six racks.

One (1) loading spaces is required for the first 10,000 square feet of gross floor area for retail uses (LDC Section 710.2.17.2). A loading space is provided north of the proposed building.

Parking areas, access points, internal drives, and pedestrian ways are designed to provide for safe internal circulation on the site. Specific Approval has been requested to allow eleven parking spaces (two instances) and fourteen parking spaces (one instance) without an interior landscape island.

**Pedestrian Systems**

The design shows adequate pedestrian safety zones. There are existing sidewalks (six-foot wide) along SR 70 and 45<sup>th</sup> Street East.

**Historic Features**

There are no known historic or archaeological resources on the site.

**Intensity**

The Floor Area Ratio (FAR) of 0.10 is below the maximum FAR (0.35/0.25 without Special Approval) allowed for project within the R/O/R FLUC.

**Height:**

The site plan indicates a maximum of 22.6' feet building height (one story). This height should not create any external impacts that would adversely affect the surrounding developments.

**Fences, Screening, and Landscaping:**

No fences are proposed, and the Preliminary Site Plan shows the following landscaped buffers:

- 10 foot wide roadway buffer along the south boundary adjacent to SR 70, planting with 2 canopy trees and 33 shrubs per 100 linear feet.
- An alternative for the required 10 foot wide buffer along 45<sup>th</sup> Street East which includes:
  - 5 foot wide roadway buffer along west boundary adjacent to 45<sup>th</sup> Street East, planting with 2 canopy trees and 33 shrubs per 100 linear feet, and
  - an additional 8 foot wide buffer east of the stormwater pond adjacent to a vehicular use area, planting with 3 canopy trees per 100 linear feet and shrubs to provide 80% opacity at 42" height within 2 years of planting.
- 5 foot wide perimeter buffer along the southern portion of the east property line where the site is adjacent to an existing commercial use (8 foot wide separation is provided along the vehicular use area), planting with 2.5 canopy trees and 33 shrubs per 100 linear feet, and
- 15 foot wide perimeter buffer along the remaining portion of east property line adjacent to a single-family residences (northern 2/3 portion of the east buffer), planting with 2.5

canopy trees and 33 shrubs per 100 linear feet.

Landscaping for vehicle use areas and building foundation will be provided according to the requirements of LDC Sections 715.3.1 and 715.3.3 respectively.

**Yards and Setbacks:**

The following chart includes the minimum required setbacks for a project in the PDC zoning district and the proposed setbacks shown in the Preliminary Site Plan which exceed the minimum requirements :

<b>Yards and Setbacks</b>				
<b>Type</b>	<b>Front (SR 70)</b>	<b>Front (45<sup>th</sup> Street East)</b>	<b>Side (North)</b>	<b>Side (East)</b>
<b>Required</b>	30'	30'	15'	15'
<b>Proposed per plan (min.)</b>	99.9'	408.1'	109.4'	15.9'

**Trash and Utility Plant Screens:**

The site plan shows a designated area in the east portion of the site (north of the loading area) for dumpsters. The dumpsters are placed away from the adjacent residential uses to alleviate any potential noise impacts, and in compliance with the regulations of the LDC Section 728.5.1

**Signs**

All signs will be reviewed with the Final Site Plan and Building Permits, and will meet the requirements of the LDC Section 724.

**Mixed Use or Entranceway Designation**

The site is not in an area designated as a Mixed Use or an Entranceway of the County.

**Water Conservation**

The development will be required to conform to Manatee County Land Development Code and Engineering Standards for water conservation measures. Irrigation for landscaping will use the lowest water quality source available, and non-potable water will be used for irrigation.

**Utility Standards**

Connection to Manatee County utilities is required and will be reviewed in greater detail with future Final Site Plan.

**Stormwater Management**

The project lies in Zones X and AE with Base Floor Elevation ranging from 9.6' to 10.5' NAVD 1988 per FIRM Panel 12081C0309E, effective 03/17/2014.

The design of the stormwater facilities will be required to meet the requirements of LDC Section 717 and the adopted Manatee County Development Standards for the treatment of stormwater. Stormwater design and calculations will be reviewed in greater detail with the Final Site Plan/Construction Plan submittal.

The project will be required to provide attenuation of stormwater runoff and demonstrate post-development runoff is equal to or less than the pre-development condition. In addition, the project will be required to provide compensatory storage for impacts within the 25-year and 100-year floodplain. Floodplain compensation will be provided in either a scrape-down area along Pearce Drain or volume above the 25-year Design High Water Level (DHWL) within the proposed retention pond.

**Open Space.**

The site plan shows 45% or 1.71 acres of open space is provided with this project.

### COMPLIANCE WITH COMPREHENSIVE PLAN

**The site is in the R/O/R Future Land Use Category. A list of Comprehensive Plan Policies applicable to this request is attached. This project was specifically reviewed for compliance with the following policies:**

**Policy 2.1.2.7 Appropriate Timing.** The timing is appropriate given development trends in the area. The surrounding area is characterized by a mix of commercial, office, and residential uses.

**Policy 2.2.1.17.1 Intent.** The proposed use is consistent with the intent of the R/O/R FLUC which identifies established and developed areas with a broad of range of commercial, residential, and in certain cases light industrial uses, and to recognize the continued existence of such areas through the long range planning timeframe.

**Policy 2.2.1.17.2 Range of Potential Uses.** The range of potential uses for projects within the R/O/R FLUC includes retail, wholesale or office commercial uses which function in the market place as neighborhood, community, or region serving.

**Policy 2.2.1.17.3 Range of Potential Intensity.** The proposed FAR (0.10) is in compliance and below the maximum threshold in this category which is 0.35 (0.25 without Special Approval).

**Policy 2.6.1.1 Compatibility.** The proposed design and use is compatible with surrounding development. Appropriate buffers and setbacks are provided for compatibility and transition between existing developments.

**Policy 2.6.2.7 Require Clustering to Limit Impacts.** The site design avoids any impacts to wetland buffer area and proposed improvements are located outside of the Coastal High Hazard Area.

**Policy 2.6.5.4 Preserve/Protect Open Space.** The site plan shows 45% open space (1.71 acres) which exceeds the minimum requirement. 20% (0.77 acres) of open is required.

**TRANSPORTATION**

**Major Transportation Facilities**

The site is adjacent to SR 70 and 45<sup>th</sup> Street East. In the Future Traffic Circulation Map, SR 70 is a six-lane arterial roadway with a planned right of way width of 150 feet, and 45<sup>th</sup> Street East is a four-lane collector roadway with a planned right of way width of 120 feet.

**Transportation Concurrency**

Transportation concurrency was evaluated for the project. The Applicant prepared a Traffic Impact Analysis (TIA) to determine impacts on SR 70, 45<sup>th</sup> Street East and associated intersections. The conclusion of the approved TIA indicates that level of service deficiencies exist at studied intersections prior to the project’s build out year. These deficiencies are attributed to existing traffic and traffic from previously approved projects (background traffic). Under the transportation concurrency provisions of the State Community Planning Act, new proposed development cannot be required to mitigate adverse impacts caused by background traffic. The TIA indicated that there are no off-site concurrency-related improvements required for the project (see Certificate of Level of Service Compliance table below).

**Access**

The traffic study also included review of the site access points. The project will have access via two connections, one on SR 70 and one on 45<sup>th</sup> Street East. The TIA identified no site-related improvements are required, and the location and design of the 45<sup>th</sup> Street East access point is being coordinated with the County’s 45<sup>th</sup> Street East reconstruction and widening capital improvement.

**CERTIFICATE OF LEVEL OF SERVICE (CLOS) COMPLIANCE**

**TRANSPORTATION CONCURRENCY**

**CLOS APPLIED FOR:        YES**  
**TRAFFIC STUDY REQ'D:   YES**

NEAREST ROADWAY	LINK(S)	ADOPTED LOS	EXISTING LOS
45 <sup>th</sup> Street East	1760	D	C
SR 70	3105	D	D

**OTHER CONCURRENCY COMPONENTS**

Solid waste landfill capacity and preliminary drainage intent have been reviewed with this Preliminary Site Plan. Potable water and waste water will be reviewed at the time of Final

Site Plan/Construction Drawings.

## SPECIFIC APPROVALS – ANALYSES, RECOMMENDATIONS, FINDINGS

### Applicant Request(s):

1. **Alternative to LDC Section 714.8.7 – Tree Replacement Size**

LDC Section 714.8.7 requires replacement tree calipers to be three, five, or seven inches depending on the size of the tree removed. The request is to allow replacement tree calipers to be three or four inches.

**Staff Analysis and Recommendation**

Staff is in support of the request for Specific Approval for an alternative to Section 714.8.7 of the LDC to allow replacement tree sizes at 3”/4”/4” instead of 3”/5”/7”. Staff believes that smaller size trees typically establish and grow faster. Therefore, they provide more tree canopy sooner.

**Finding for Specific Approval:**

Notwithstanding the failure of this plan to comply with the requirements of LDC Section 714.8.7, the Board finds that the purpose of the LDC regulation is satisfied to an equivalent degree by the proposed design because the required number of trees and canopy will be provided.

2. **Alternative to LDC Section 715.3.1.d – Minimum Required Landscaping for Vehicular Use Area**

LDC Section 715.3.1.d requires that no more than ten (10) consecutive parking spaces shall be allowed without an interior landscape island. The request is to allow 11 parking spaces in a row (two instances) and 14 parking spaces in a row (one instance) without an interior landscape island.

**Staff Analysis and Recommendation**

Staff is in support of the request for Specific Approval for an alternative to Section 715.3.1.d of the LDC to allow 11 parking spaces in a row (two instances) and 14 parking spaces in a row (one instance) without a landscape island. The same amount of required landscape area will be provided so the project will still meet or exceed the intent of this section.

**Finding for Specific Approval:**

Notwithstanding the failure of this plan to comply with the requirements of LDC Section 715.3.1.d, the Board finds that the purpose of the LDC regulation is satisfied to an equivalent degree by the proposed design because the required amount of plantable landscape area will be the same or more than what is required by the LDC.

**3. Alternative to LDC Section 715.3.2 – Roadway buffer location**

LDC Section 715.3.2 requires a ten (10) foot wide roadway buffer along the road right-of-way with the required plantings to be placed within it. The request is to allow placement of 5 feet of roadway buffer where it is normally required along 45<sup>th</sup> Street East and an additional 8 feet to be placed across the dry retention pond to the east, which will serve as both the balance of the roadway buffer screening and the vehicle use area screening. The reason for the request is the County's need for additional right-of-way for a roadway improvement project to widen 45<sup>th</sup> Street East.

**Staff Analysis and Recommendation:**

Staff is in support of the request for Specific Approval for an alternative to Section 715.3.2 of the LDC to allow a portion of the roadway buffer to be provided across the dry retention pond from the road immediately west of the parking area, as this arrangement will be provided so the project will still meet or exceed the intent of this section.

**Finding for Specific Approval:**

Notwithstanding the failure of this plan to comply with the requirements of LDC Section 715.3.2, the Board finds that the purpose of the LDC regulation is satisfied to an equivalent degree by the proposed design because the required amount of plantable roadway buffer area will be the same or more than what is required by the LDC.

### **SPECIAL APPROVALS – ANALYSES, RECOMMENDATIONS, FINDINGS**

“Special Approval” is a process requiring an additional level of review pursuant to the Comprehensive Plan. It is defined as a development order review and approval process entailing, at a minimum, project review and approval by the Manatee County Board of County Commissioners or the specific delegation of any specific review and approval process, or part thereof, to one or more County departments with option for appeal to the BOCC. The planned development process allows the Board of County Commissioners to approve stipulations to ensure compatibility with surrounding zoning and land uses and address any specific issues related to the development.

Special Approval is required for a project:

**Adjacent to a perennial stream, and partially within the Coastal High Hazard Area (CHHA per the Manatee County Comprehensive Plan)**

The Comprehensive Plan requires Special Approval for projects adjacent to a perennial stream (Policy 3.2.2.1), partially within the Coastal High Hazard Area (CHHA) (Policy 2.2.2.5.4).

The site is adjacent to Gap Creek (perennial stream), and within the northern portion of the site lying in the CHHA (Coastal High Hazard Area per the Manatee County Comprehensive Plan). The purpose of the Special Approval request is satisfied since:

- Proposed improvements do not encroach the regulatory floodway of Pearce Drain/Gap Creek.

- A “Letter of Mitigation” will be required at “building permit” stage for proposed structural improvements within 50 feet of the regulatory floodway. The Preliminary Site Plan reflects retaining wall and dumpster enclosure within 50 feet of the regulatory floodway. The proposed retail/grocery store is located outside of the floodway and 50 feet offset.
- The proposed site improvements are concentrated to the greatest extent outside of the 25-year and 100-year floodplains.
- Compensatory storage will be required for proposed impacts within the 25-year and 100-year floodplains.
- The proposed finish floor elevation of the building will be at least one-foot above Base Floor Elevation (BFE). The Base Flood Elevation ranges from 9.6-10.5 feet (NAVD), whereas the Preliminary Site Plan reflects the proposed finish floor elevation retail grocery store will at 13.50 feet.

The proposed preliminary site plan appears appropriate and consistent with the applicable regulations related to preserve and protect natural features and sensitive environments.

**ATTACHMENTS**

1. Applicable Comprehensive Plan Policies
2. Zoning Disclosure Affidavit
3. Request for Specific Approval
4. Traffic Impact Analysis
5. Address Plan
6. Copy of Newspaper Advertising

**APPLICABLE COMP PLAN POLICIES**

Policy:	2.1.2.4	Limit urban sprawl through the consideration of new development and redevelopment, when deemed compatible with existing and future development, and redevelopment area planning efforts when applicable in areas which are internal to, or are contiguous expansions of the built environment.
Policy:	2.1.2.7	Review all proposed development for compatibility and appropriate timing. This analysis shall include: <ul style="list-style-type: none"> <li>- consideration of existing development patterns,</li> <li>- types of land uses,</li> <li>- transition between land uses,</li> <li>- density and intensity of land uses,</li> <li>- natural features,</li> <li>- approved development in the area,</li> </ul>

		<ul style="list-style-type: none"> <li>- availability of adequate roadways,</li> <li>- adequate centralized water and sewer facilities,</li> <li>- other necessary infrastructure and services.</li> <li>- limiting urban sprawl</li> <li>- applicable specific area plans</li> <li>- (See also policies under Objs. 2.6.1 - 2.6.3)</li> </ul>
Policy:	2.2.1.17	<b>R/O/R:</b> Establish the Retail/Office/Residential future land use category as follows:
Policy:	2.2.1.17.1	<p>Intent: To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established and developed areas exhibiting a broad range of commercial, residential and, in certain cases, light industrial uses, and to recognize the continued existence of such areas through the long range planning timeframe. Also, to provide for orderly transition from, or redevelopment of, these existing and developed multiple-use areas. Also, to prohibit the intrusion of new industrial areas into these ROR areas, which typically fail to exhibit a planned or integrated approach to multiple use development, and instead exhibit an incremental or unplanned history of multiple use development. Also to establish at a few major and highly accessible, but currently undeveloped, sites for the development of major future community or region-serving commercial uses with a variety and permitted intensity of use which allows for a multi-purpose commercial and office node, with residential uses. Also, to provide incentives for, encourage, or require the horizontal or vertical integration of various residential and non-residential uses within these areas, achieving internal trip capture, and the development of a high quality environment for living, working, or visiting.</p>
Policy:	2.2.1.17.2	<p>Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5): Retail, wholesale or office commercial uses which function in the market place as neighborhood, community, or region-serving. Also residential uses, lodging places, public or semi-public uses, schools, recreational uses, appropriate water-dependent/ water-related/water-enhanced uses (see also Objectives 4.2.1 and 2.10.4), and short-term agricultural uses.</p>
Policy:	2.2.1.17.3	<p>Range of Potential Density/Intensity:                  Maximum Gross Residential Density:                  For development existing at time of plan adoption or treated</p>

Policy: 2.2.1.17.4

as a special exception under this Comprehensive Plan - 16 dwelling units per acre

For new development -

9 dwelling units per acre

Minimum Gross Residential Density: 7.0 only in CRA's and UIRA for residential projects that designate a minimum of 25% of the dwelling units as "Affordable Housing".

Maximum Net Residential Density:

For development existing at time of plan adoption or treated as a special exception under this Comprehensive Plan - 20 dwelling units per acre

For new development -

16 dwelling units per acre

24 dwelling units per acre inside the CRA's and UIRA for residential projects that designate a minimum of 25% of the dwelling units as "Affordable Housing".

Maximum Floor Area Ratio: 0.35

1.0 inside the CRA's and UIRA

Maximum Floor Area Ration for Hotels: 1.0

Maximum Square Footage for Neighborhood,

Community, or Region-Serving Uses: Large 300,000sf

Other Information:

- a) All mixed and multiple-use projects shall require special approval, as defined herein, and as further defined in any land development regulations developed pursuant to § 163.3202, F.S.
- b) All projects for which either gross residential density exceeds 6 dwelling units per acre, or for which any net residential density exceeds 9 units per acre, shall require special approval.
- c) All non-residential projects, or part thereof, exceeding 0.25 FAR shall also require special approval except mini-warehouse.
- d) Non-residential projects exceeding 150,000 square feet gross building area may be considered only if consistent with the requirements for large commercial uses, as described in this element.
- e) In areas where existing development is recognized

utilizing the Retail/Office/Residential category, or where the spatial form of the Retail/Office/Residential designation on the Future Land Use map is accordingly inconsistent with the commercial locational criteria contained in this element; development or redevelopment within the area designated under this category shall not be required to achieve compliance with the commercial locational criteria described in Sections 2.10.4.1 and 2.10.4.2 of this element. However, any such development or redevelopment shall still be required to achieve compliance with other commercial development standards contained in this element, and be consistent with other goals, objectives, and policies in this Comprehensive Plan (see also 2.10.4.2).

- f) In areas where the Retail/Office/Residential category is designated in a manner entirely consistent with the commercial locational criteria, all commercial development or redevelopment shall be conducted in a manner consistent with the commercial location criteria and development standards contained in this element.
- g) In order to distinguish between uses which may be permitted in the R/O/R category, as compared to those which require siting within an industrial category, the following guidelines shall be utilized:
  - I. No uses which have a primary purpose of distribution of goods from that site shall be permitted in the Retail/ Office/ Residential designation.
  - II. No new areas (a new area, for the purposes of this policy, shall be defined as property beyond those parcel configurations as of May 11, 1989 which had light industrial uses established upon them) engaging in the manufacturing, processing, and assembly of goods shall be permitted in the Retail/Office/ Residential designation except as provided below:
  - III. Legally established light industrial uses existing prior to the adoption of this Comprehensive Plan shall be considered legally conforming uses, limited to their approved location. With special approval, other light industrial uses and additional square footage within the same

parcel may be approved if there are no additional impacts to adjoining properties and all special approval criteria are met.

- iv. If a legally established light industrial use ceases operation for over six months with no action to re-establish and/or continue such use, the use shall now be prohibited from development within the R/O/R designation.

Policy: 2.10.4.2

Prohibit the consideration of any development order establishing the potential for commercial development, where the proposed project site is inconsistent with commercial locational criteria. Consistency shall be determined through the application of the commercial location review process described in the operative provisions contained in this Element. Permitted exceptions to these requirements are limited to:

- Existing commercial uses that are legally permitted, and that are in place at time of comprehensive plan adoption. However, where such uses are nonconforming to other development regulations, nothing in this policy shall render those uses conforming to the subject regulations.
- Redevelopment of an existing commercial use which does not meet the commercial locational criteria, subject to the finding by the Board of County Commissioners that the proposed project is consistent with the general welfare of Manatee County residents.
- Locations designated as Retail/Office/ Residential (ROR) or Low Intensity Office (OL), Medium Intensity Office (OM) or Mixed Use (MU) or within the MU-C Mixed Use Community and its Sub Areas which are inconsistent with commercial locational criteria [see 2.2.1.16.4(b) and 2.2.1.17.4(e)].
- Recreational vehicle parks. However, compliance with Policy 2.10.5.2 shall be required.
- Establishments providing nursing services as described in Chapter 464, F.S.
- Sale of agricultural produce at roadside stands.
- Small commercial uses associated with a permanent roadside agricultural stand. Maximum commercial square footage shall be 3,500 square feet of the

project. Development must be located on functionally classified rural arterial or rural collector roadway. Planned development approval required.

- Agricultural service establishments (e.g. farm equipment sales and service).
- Low intensity commercial recreational facilities (e.g., driving range).
- Rural recreational facilities located in the Ag/R future land use category meeting adverse impact standards as established within the Manatee County Land Development Code. All such uses must receive Special Approval.
- Appropriate water-dependent, water -related, and water-enhanced commercial uses, as described under Objective 4.2.1.
- Commercial uses located within Port Manatee.
- Professional office uses not exceeding 3,000 square feet in gross floor area within the Res-6, Res-9, RES-12, and Res-16 future land use categories may be exempted from compliance with any locational criteria specified under Policies 2.10.4.1 and detailed in the operative provisions provided such office is located on a roadway classified as a minor or principal arterial on the roadway functional classification map, however, not including interstates, and shall still be consistent with other commercial development standards and with other goals, objectives, and policies in this Comprehensive Plan (see also 2.2.1.12.4, 2.2.1.13.4, 2.2.1.15.4).
- Commercial uses located within the rural community of Myakka City which is designated as those lands on Sheet 29 f the Future Land Use Map shown as Res-3 or Res-1 on May 11, 1989, provided that they are located along State Road 70 within 1,500 feet from its intersection with Wauchula Road, and located within 1,000 feet along Wauchula Road from its intersection with State Road 70. Further, properties developed commercially, or having commercial zoning in place at the time of adoption of this Comprehensive Plan if they have frontage on State Road 70 and are within three-quarters mile of the State Road 70 and Wauchula Road intersection are also exceptions. Furthermore, all commercial

uses allowable under this provision will be exempt from the one-half mile spacing requirement denoted in Policy 2.10.4.3(4).

- Small commercial (professional) office uses which operate as an accessory use to a residential religious development. Such accessory office uses which do not serve the general public but which serve the residential religious development may locate in residential future land use categories (RES-1, RES-3, UF-3, RES-6, RES-9, RES-12 and RES-16).
- And may be exempted from compliance with any locational criteria specified under Policies 2.10.4.1 and detailed in the operative provisions (see also 2.2.1.9, 2.2.1.10, 2.2.1.11, 2.2.1.12.4, 2.2.1.13.4, 2.2.1.14.4 and 2.2.1.15.2).
- Neotraditional developments that have commercial and office developments located internal to the project and whose main project access is located on a road designated as a collector or higher.
- DRI's and Large Project developments that have mixed uses with a residential component and meet minimum development characteristics (see Neo-Traditional Development definition for development characteristics), have commercial uses located internal to neighborhoods and whose main neighborhood access is located on a road designated as a collector or higher.
- Commercial uses located within the Parrish area for properties fronting US 301, from Moccasin Wallow Road to the realigned Ft. Hamer Road. These commercial uses are limited to a building footprint of 5,000 square feet except at nodes.

No exception to commercial locational criteria provided for under this policy shall be used as a precedent for establishing other commercial development inconsistent with this Comprehensive Plan.

Nothing in this policy shall require the issuance of a development order solely on the basis of compliance with commercial locational criteria. Compliance with other commercial development standards contained in Policy 2.10.4.3 below, and with all other goals, objectives, and policies of this Comprehensive Plan is also required for

Policy: 2.10.4.3

issuance of a development order approving commercial uses. In particular, compliance with the policies of Objectives 2.6.1 and 2.6.2 is mandatory for approval of any commercial use within a residential designation.

Require that all proposed commercial uses meet, in addition to commercial locational criteria, the following commercial development standards:

- 1) Any proposed commercial site must be sized and configured to provide for adequate setbacks, and buffers from any adjacent existing or future residential uses.
- 2) Any proposed commercial site must be configured and sized to allow for orientation of structures, site access points, parking areas, and loading areas on the site in a manner which minimizes any adverse impact on any adjacent residential use.
- 3) No proposed commercial site shall represent an intrusion into any residential area. As used in this standard, "intrusion" means located between two residential uses or sites which are not separated by the right-of-way of any roadway functionally classified as collector or higher, unless the proposed commercial use meets the definition of "infill commercial development," demonstrated through evaluation of existing land use patterns in this vicinity of the proposed use, and pursuant to guidelines contained in commercial locational criteria found in the operative provisions of this Element. Permitted exceptions listed in Policy 2.10.4.2 shall not be required to meet this development standard. No such intrusion shall be found in neotraditional developments approved as such by the County, as a mixture of uses are encouraged within those projects. No such intrusion shall be found in DRI and Large Project developments where commercial uses are internal to neighborhoods, approved as such by the County, as a mixture of uses are encouraged within those neighborhoods.
- 4) Commercial nodes meeting the requirements specified in the operative provisions of this Element shall, additionally, be spaced at least one-half mile apart, as measured between the center of two

nodes. However, where two commercial nodes have been established by the development of commercial uses prior to plan adoption, and are spaced less than the minimum required one-half mile, then a waiver of this commercial development standard may be considered. Preferentially, in instances where previous development has not established a pattern of land uses inconsistent with commercial locational criteria or development standards, nodes shall be spaced no less than one mile apart. Neotraditional projects shall be exempt from this requirement. DRI and Large Project developments that have mixed uses with a residential component that receive approval to locate commercial uses internal to neighborhoods shall be exempt from this requirement.

Policy: 2.2.2.5 **CHHA:** Establish the Coastal High Hazard Area Overlay District as follows:

Policy: 2.2.2.5.1 Definition: The geographic area below the Category 1 storm surge line as established by a Sea, Lake, and Overland Surges from Hurricanes (SLOSH) computerized storm surge model, pursuant to applicable law, as updated on a periodic basis.

Policy: 2.2.2.5.2 Purpose:

- a) To limit population in the Coastal High Hazard Area Overlay District.
- b) To limit the amount of infrastructure, both private and public, within the CHHA Overlay District and thereby limit magnitude of public loss and involvement in mitigating for loss of private infrastructure to Manatee County residents.
- c) To, through exercise of the police power, increase the degree of protection to public and private property, and to protect the lives of residents within the CHHA, and reduce the risk of exposing lives or property to storm damage.
- d) To accomplish shoreline stabilization along coastal areas by limiting development activity which may adversely impact shoreline stability.

- e) To protect coastal water quality by reducing impervious surface along coastal areas, thereby reducing the risk of incomplete treatment of stormwater runoff before discharge into coastal waters.
- f) To encourage, establish, and maintain vegetative and spatial buffer zones, in order to maintain the capacity of natural vegetative communities in mitigating the negative effects of storm surge and tidal velocity, and the erosive effect of wave action.

Policy: 2.2.2.5.3

Applicable Goals, Objectives, and Policies: Goals, objectives, and policies pertaining to the CHHA Overlay District are contained under Objectives 4.3.1, 4.3.2, 4.4.2 and 4.4.3 of the Coastal Management Element. Compliance with all goals, objectives, and policies listed in these subsections, and with other applicable goals, objectives, policies, and development regulations is required for all activity within the CHHA Overlay District.

Policy: 2.2.2.5.4

Effect of Mapping:

- a) Any project which is at least partially within the CHHA Overlay District shall be submitted for approval under the special approval process, except in the instance of any project on lands owned, leased or operated by the Manatee County Port Authority. The area designated under the CHHA Overlay District on the Future Land Use Map shall also be subject to all goals, objectives and policies for any future land use category overlaid by the CHHA District, except where policies associated with the CHHA Overlay conflict with such goals, objectives and policies. In this event, policies associated with the CHHA Overlay shall override other goals, objectives and policies. The extent and coverage of the area designated as CHHA is an approximation, and is subject to a more precise determination on any project within, or proximate to, that area shown on the Future land Use Map as CHHA. At the time of review of any such project for issuance of any development order establishing total or partial development potential, evaluation of a pre-development topographic survey of the site shall be utilized to determine the extent of the CHHA District Overlay.

		b) See also objectives listed under Policy 2.2.2.5.3 above.
Policy:	2.2.2.5.5	Development Restrictions/Conditions
		a) Prohibit any amendment to the Future Land Use Map which would result in an increase in allowable residential density on sites within the Coastal High Hazard Area Overlay District.
GOAL:	4.3	<b>Protection of the Residents and Property Within the Coastal Planning Area from the Physical and Economic Effects of Natural Disasters.</b>
Objective:	4.3.1	<b>Development Type, Density and Intensity:</b> Limit development type, density and intensity within the Coastal Planning Area and direct population and development to areas outside of the Coastal High Hazard Area to mitigate the potential negative impacts of natural hazards in this area.
Policy:	4.3.1.1	Direct population concentrations away from the Coastal Evacuation Area (CEA).  Implementation Mechanism:  a) Update requirements in the Manatee County Land Development Code consistent with this Comprehensive Plan element.
Policy:	4.3.1.2	Limit the density of new residential development within the FEMA Velocity-Zone to a maximum of three dwelling units per gross acre or to the maximum density shown on the Future Land Use Map for the area within the V-Zone, whichever is less. Any reduction in residential development potential within the FEMA Velocity-Zone resulting from the limit of 3 du/ga within that area may be re-captured on the subject site in areas outside of the CHHA where consistent with other provisions of this Comprehensive Plan.  Implementation Mechanism:  a) Planning Department review of projects within the CHHA to ensure compliance with this policy.

Policy:	4.3.1.3	<p>Require that non-industrial redevelopment activities within the FEMA Velocity-Zone of the Coastal High Hazard Area to be limited to the density/intensity in existence for the development site prior to the effective date of the Comprehensive Plan; or be limited to three dwelling units per gross acre or the maximum Floor Area Ratio associated with the Future Land Use designation(s) on the project site, whichever is less. All such redevelopment activities shall also be subject to compliance with other applicable goals, objectives, and policies of this comprehensive plan, and all applicable development regulations.</p>
		<p>Implementation Mechanism:</p>
		<p>a) Planning Department review of all proposed redevelopment within the FEMA Velocity-Zone for compliance with this policy.</p>
Policy:	4.3.1.4	<p>Limit industrial development in the CHHA to the maximum intensity allowed under the Industrial-Light future land use category and prohibit any generation, storage, or disposal in excess of 45.4 lbs. of hazardous, or 0.45 lbs. of acutely hazardous, waste or substances per month for any use in the CHHA. Industrial development within and in close proximity to Port Manatee shall be exempt from this Policy so long as industry storing above the threshold quantities of hazardous, acutely hazardous, waste or substances take steps to minimize the potential for release of this material in a storm event.</p>
		<p>Implementation Mechanism:</p>
		<p>a) Natural Resources Department review of all commercial and industrial uses in the CHHA to ensure compliance with this policy.</p>
Policy:	4.3.1.5	<p>Maximize the clustering of uses in the Coastal High Hazard Area.</p>
		<p>1) Clustering shall be promoted to protect coastal resources from the impacts of dock accesses, runoff from impervious surface and to minimize infrastructure subject to potential storm damage.</p>
		<p>2) Net density limits may be waived for appropriate clustered projects.</p>

- 3) For projects located partially within the CHHA, development shall be encouraged to transfer from areas within the CHHA to portions of the site outside of the CHHA. [See policies under objective 2.3.1 of the Future Land Use Element]

Implementation Mechanism:

- a) Planning Department to encourage clustering of density/intensity at time of pre-application meeting and at development review.

ZONING DISCLOSURE AFFIDAVIT

B4

File Number \_\_\_\_\_

File Name \_\_\_\_\_

The Manatee County Land Development Code 90-01, as amended requires that all applications for Zoning Atlas Amendments shall include public disclosure of applicants and their percentage of interest.

If the property is owned by a CORPORATION, list the principal officers and principal stockholders and the percentage of stock owned by each.

If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

If the property is in the name of a PARTNERSHIP or LIMITED PARTNERSHIP, list the name of the principals below, including general and limited partners.

If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the principal officers, stockholders, beneficiaries, or partners. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. This is in addition to the list of owners.

FOR ANY CHANGES OF OWNERSHIP OR CHANGES IN CONTRACTS FOR PURCHASE SUBSEQUENT TO THE DATE OF THE APPLICATION, BUT PRIOR TO THE DATE OF FINAL PUBLIC HEARING, A SUPPLEMENTAL DISCLOSURE OF INTEREST SHALL BE FILED.

Disclosure shall not be required of any entity whose interests are solely equity interest which are regularly traded on an established securities market in the United State or another country.

<u>NAME, ADDRESS AND OFFICER</u>	<u>PERCENTAGE STOCK, INTEREST OR OWNERSHIP</u>
Check if owner ( ) or contract purchaser ( X )	
<u>Aldi, Inc. - Emilie Mason, Director of Real Estate</u>	<u>100%</u>
<u>2651 State Road 17, South</u>	
<u>Haines City, FL 33844</u>	

Under penalties of perjury, I declare that I have read the foregoing affidavit and that the facts stated in it are true.

Signature: Emilie Mason SIGN HERE

STATE OF FLORIDA  
COUNTY OF Polk (Applicant): EMILIE MASON

The foregoing instrument was sworn to (or affirmed) and subscribed before me this 26 day of Sept., 2014 by Emilie Mason who is personally known to me or who has produced \_\_\_\_\_ as identification.  
(type of identification)

Signature: Cynthia Leigh Linden  
My Commission Expires: April 26 2015  
Commission No: EE 155449

Cynthia Leigh Linden Notary  
Print or type name of Notary  
Real Estate Assistant Title or Rank





December 10, 2014

Manatee County  
Building and Development Services Department  
Planning Division  
1112 Manatee Avenue West, 4th Floor  
Bradenton, FL 34205

Subject: Request for Specific Approval  
Aldi – Bradenton  
SR 70 at 45<sup>th</sup> Street East, Bradenton, FL  
Case Number: PDC-14-27(Z)(P) DTS #20140444(1)

Dear Ms. Leider,

Thank you for your review of the above noted project. We are in receipt of the comments dated 11/12/14 and in accordance with Section 603.3 of the LDC we are submitting this letter to request Specific Approval for alternatives to the standards of Section 714.8.7, Section 715.3.1.d, and Section 728.5.1 as described below.

**Section 714.8.7 – Tree Replacement Standards**

Section 714.8.7 of the LDC specifies tree replacement standards to be in accordance with the following table:

Existing Tree Size	Required Replacement Caliper Minimum	Ratio of Replacement Trees to Removed Trees
4"–15" D.B.H.	3"	1:1
16"–30" D.B.H.	5"	2:1
Over 30" D.B.H.	7"	3:1

Per County Staff recommendation the applicant would like to request Specific Approval to allow replacement tree sizes at 3"/4"/4" instead of 3"/5"/7". The applicant is in accordance with the Environmental Planning Division review comments indicating that newly planted, smaller size trees typically establish more readily, grow faster and therefore, will provide greater tree canopy sooner than larger caliper trees.

**Section 715.3.1.d – Vehicle Use Areas**

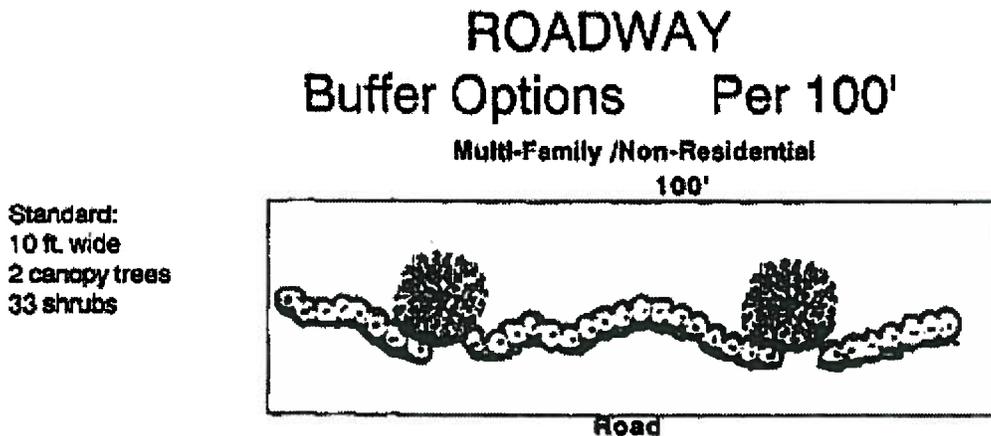
Section 715.3.1.d of the LDC reads as follows:

*No more than ten (10) consecutive parking spaces shall be allowed without an interior landscape island.*

The applicant would like to request Specific Approval to allow for more than ten consecutive parking spaces without an interior island. As shown on the Preliminary Site Plan there are three instances where this situation occurs. Given the site constraints of required buffers, setbacks and easements, and the necessity for a surface water management system as shown, the proposed parking configuration is necessary to meet the required minimum number of parking spaces. In addition, as shown on the Preliminary Landscape Plan, the proposed configuration still allows the applicant to meet the requirements for vehicular use minimum planting area and associated plant material. In fact, as shown on the Preliminary Landscape Plan, the provided planting area and planting material exceed the requirements for internal landscape provisions.

**Section 715.3.2 – Buffer Zones**

Section 715.3.2 of the LDC requires Roadway Buffers with the quantity and type of plant material as shown below:



This requirement was set forth in the pre-application meeting held on Feb. 21<sup>st</sup>, 2014. Taking into consideration the proposed 45<sup>th</sup> Street East Right-of-Way future dedication and roadway improvements, the applicant would like to request Specific Approval to allow for a portion of the required roadway buffer plant material to be located within the 8' wide VUA buffer area directly east of the proposed stormwater management area. Per the LDC, buffer zones may not encroach stormwater management systems, and given the additional site constraints imposed by the location of the proposed future Right-of-Way line and the need for the stormwater management area as shown, granting the approval will allow the applicant to provide the required plant material.

Please review the enclosed information for approval at your earliest convenience.  
Should you have any questions, comments or need additional information, please call  
me at 813-885-2032, or email [sstannard@css-eng.com](mailto:sstannard@css-eng.com).

Thank you,



Scott Stannard, PE  
Commercial Site Solutions, Inc.

Enclosures



**Aldi's SR 70 and 45th Street East PDC -14-27(Z)(P)/DTS#20140444**

**Jason Utley** to: myates

12/19/2014 05:33 PM

Cc: Nelson Galeano, Steve Kollar, Susan Barfield, Tim Collins, Clarke Davis, Paul Villaluz, Tom Gerstenberger

RE: Aldi's SR 70 and 45th Street East - Traffic Impact Analysis  
Petition # PDC-14-27(Z)(P)/DTS#20140444  
Consultant: Lincks & Associates, Inc.

Dear Mr. Yates,

Manatee County Transportation Planning Division staff have reviewed and approved the Traffic Impact Analysis (TIA), dated December 15, 2014 and prepared by Lincks & Associates, Inc. This project will consist of a 17,018 square foot Aldi's grocery store. Staff have found that the Applicant has addressed the County's transportation concurrency-related policy and regulatory requirements, and no additional concurrency related analysis or off-site mitigation is required for the proposed Aldi's grocery store. In conjunction with this outcome, the Transportation Planning Division recommends transportation concurrency approval.

Please note that the project will directly impact: 1) Link # 1760 (45th Street East from SR 70 to 26th Avenue East) with 50 net new pm peak-hour trips and 2) Link # 3105 (SR 70 from Lockwood Ridge Road to Natalie Way) with 83 net new pm peak-hour trips.

Nine (9) background improvements were identified in the TIA. These improvements are not the requirement of the developer. The background improvements follow:

**Intersection of SR 70 and 45th Street East Improvements**

1. One additional Eastbound Left turn lane for a total of two Eastbound Left turn lanes
2. One additional Eastbound Through lane with a lane drop for a total of three Eastbound Through lanes with one Eastbound Through lane with a lane drop
3. One additional Westbound Left turn lane for a total of three Westbound Left turn lanes
4. One additional Northbound Left turn lane for a total of two Northbound Left turn lanes
5. One additional Northbound Through lane for a total of two Northbound Through lanes
6. One additional Northbound Right turn lane for a total of two Northbound Right turn lanes
7. One additional Southbound Through lane for a total of two Southbound Through lanes
8. One additional Southbound Right turn lane for a total of one dedicated Southbound Right turn lane

**Intersection of SR 70 and Natalie Way**

9. One additional Eastbound Right turn lane for a total of one dedicated Eastbound Right turn lane

The TIA did not identify any site-related or off-site concurrency improvements which were attributed to the project traffic.

The applicant shall continue to work with Manatee County with regard to access and right of way needs on 45th Street East and shall continue to work with the Florida Department of Transportation with regard to access and right of way needs on SR 70.

Please submit two (2) hard copies of the finalized signed and sealed TIA study, along with a CD of all electronic files and a PDF copy of the final study that includes a copy of this approval letter. Also please indicate on the cover the TIA approval date (12/19/2014) and marked approved. The package will be routed to the Building and Development Services Department, at 1112 Manatee Avenue West, Bradenton, FL 34205, 4th floor Reviewer on Call for Concurrency and Permanent Records.

If you have any questions or require further assistance, please contact Clarke Davis at 941.708.7450 Ext

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

7272 or me at the number below.

Thanks,

Jason Utley, AICP  
Transportation Systems Modeler  
Manatee County Government  
941.708.7478  
jason.utley@mymanatee.org  
1022 26th Avenue East  
Bradenton, FL 34208

# *TRANSPORTATION ANALYSIS*

*ALDI*

*SR 70 AND 45<sup>TH</sup> STREET EAST*

*Prepared For*

*COMMERCIAL SITE SOLUTIONS*

*Prepared By*



*LINCKS & ASSOCIATES, INC.*

*Engineers - Planners*

*Tampa, Florida*

TRANSPORTATION ANALYSIS

ALDI

SR 70 AND 45<sup>TH</sup> STREET EAST

Prepared For

COMMERCIAL SITE SOLUTIONS

Prepared By

LINCKS & ASSOCIATES, INC.

5023 West Laurel Street

Tampa, Florida 33607

813-289-0039

State of Florida Authorization No. EB0004638

Revised December 15, 2014

September, 2014

Project No. 14008

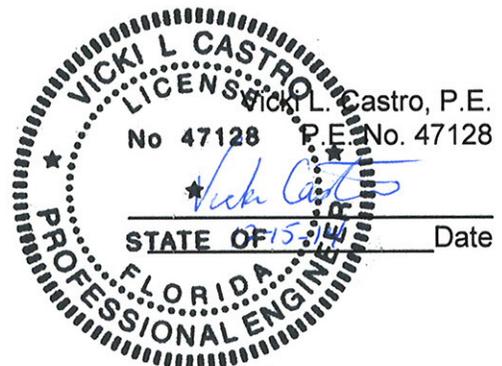


TABLE OF CONTENTS

	<u>Page</u>
Introduction.....	1
Estimated Daily Project Traffic .....	1
Estimated AM Peak Hour Project Traffic.....	3
Estimated PM Peak Hour Project Traffic.....	3
Analysis Period.....	7
Project Traffic Distribution .....	7
Study Area.....	7
Budgeted Improvements .....	10
Buildout .....	11
Background Traffic.....	11
Intersection Analysis .....	15
Generalized Link Analysis .....	21
Access Evaluation .....	21
Turn Lane Length Evaluation .....	28
Conclusion.....	28
Appendix	

LIST OF TABLES

1	Daily Project Trip Ends.....	4
2	AM Peak Hour Project Traffic.....	5
3	PM Peak Hour Project Traffic.....	6
4	Study Area Determination .....	9
5	Estimated Intersection Level of Service (Signalized) .....	17
6	Estimated Intersection Level of Service (Unsignalized) PM Peak Hour.....	18
7	2014 Peak Season Traffic Generalized Link Analysis.....	22
8	2017 Background Plus Project Traffic Generalized Link Analysis PM Peak Hour .....	23
9	Access Evaluation .....	26
10	Turn Lane Length Evaluation .....	29
11	Required Improvements.....	31

LIST OF FIGURES

1	Project Location.....	2
2	PM Peak Hour Project Trips.....	8
3	PM Peak Hour Existing Traffic .....	12
4	PM Peak Hour Peak Season Traffic .....	13
5	PM Peak Hour 2017 Background Traffic.....	14
6	PM Peak Hour 2017 Background Plus Project Traffic .....	16
7	PM Peak Hour 2017 Peak Season Plus Project Traffic .....	25

## INTRODUCTION

The purpose of this report is to provide the Transportation Analysis for the project located north of SR 70 (53<sup>rd</sup> Avenue East) and east of 45<sup>th</sup> Street East in Manatee County, as shown in Figure 1.

The project is proposed to consist of a 17,018 square foot grocery store.

This analysis was prepared in accordance with the approved Traffic Methodology Statement dated March 24, 2014.

The access for the project is proposed to consist of the following:

- One (1) right-in/right-out access to SR 70
- One (1) right-in/right-out access to 45th Street East

A conceptual site plan is included in the appendix of this report.

## ESTIMATED DAILY PROJECT TRAFFIC

The trip rates utilized in this report were obtained from the latest computerized version of "Trip Generation by Microtrans" which utilizes the Institute of Transportation Engineers' (ITE) Trip Generation, 9<sup>th</sup> Edition, 2012, as its database. Based on these trip rates, it is estimated that the proposed project will attract approximately 1,546 daily trip ends, as shown in Table 1.

Studies contained in the ITE Trip Generation Handbook, 2<sup>nd</sup> Edition, indicate that a percentage of the retail trips already exist on the adjacent roadways – passerby capture. Therefore, the



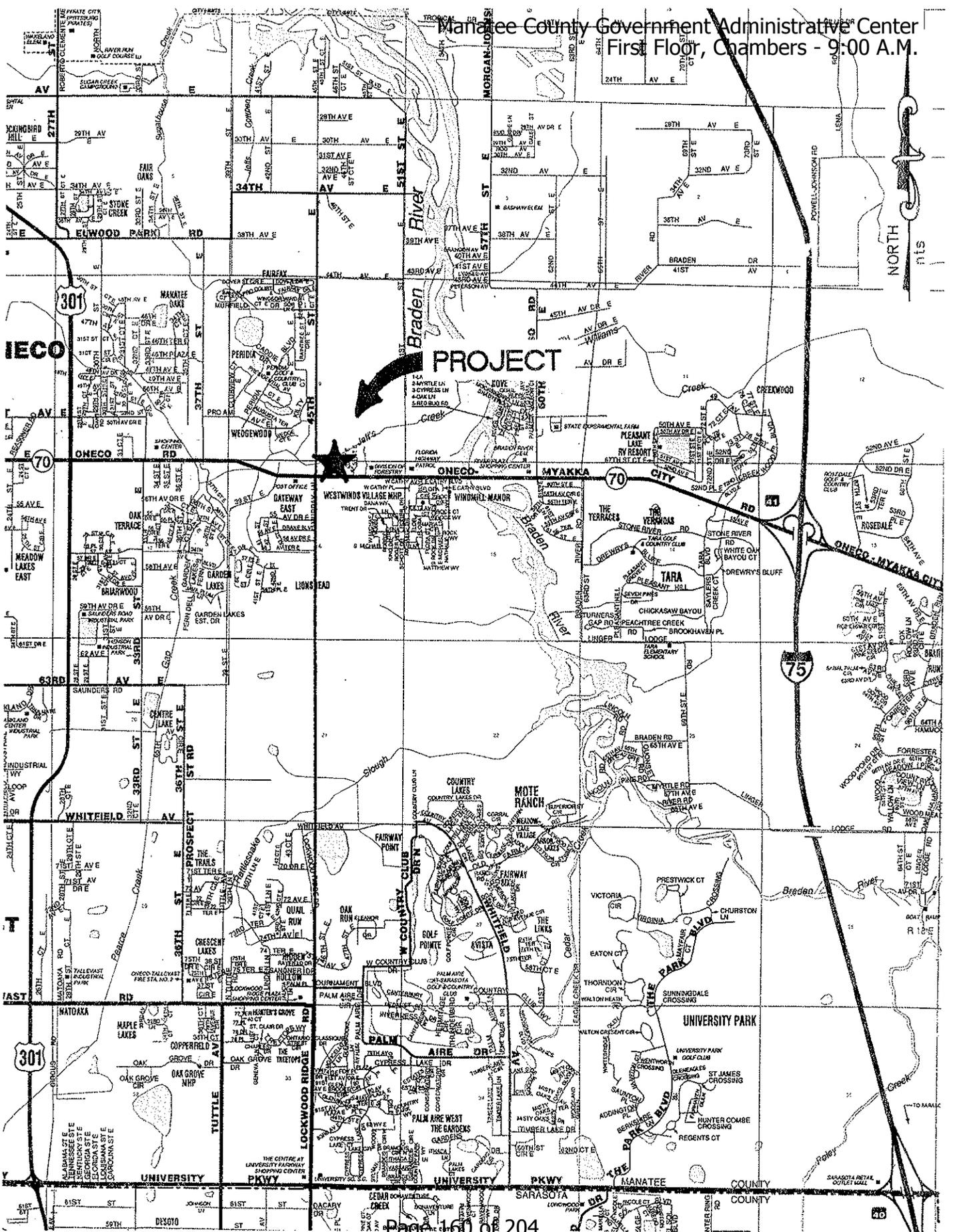


FIGURE 1  
PROJECT LOCATION



new daily trip ends attracted to the proposed project would be 1,190 trip ends, as shown in Table 1.

#### ESTIMATED AM PEAK HOUR PROJECT TRAFFIC

Again, based on data contained in the ITE Trip Generation, 9<sup>th</sup> Edition, the proposed project would attract approximately 43 trip ends during the AM peak hour with 25 inbound and 18 outbound, as shown in Table 2.

As previously stated, studies contained in the ITE Trip Generation Handbook, 2<sup>nd</sup> Edition, indicate that a percentage of the retail trips already exist on the adjacent roadways – passerby capture. Therefore, the new AM peak hour trip ends attracted to the proposed project would be 33 trip ends with 19 inbound and 14 outbound, as shown in Table 2.

#### ESTIMATED PM PEAK HOUR PROJECT TRAFFIC

During the PM peak hour, the proposed project would attract approximately 173 trip ends with 87 inbound and 86 outbound, as shown in Table 3.

As previously stated, studies contained in the ITE Trip Generation Handbook, 2<sup>nd</sup> Edition, indicate that a percentage of the retail trips already exist on the adjacent roadways – passerby capture. Therefore, the new PM peak hour trip ends attracted to the proposed project would be 133 trip ends with 67 inbound and 66 outbound, as shown in Table 3.



TABLE 1  
DAILY PROJECT TRIP ENDS

<u>Land Use</u>	<u>ITE LUC</u>	<u>Size</u>	<u>Daily Trip Ends (1)</u>	<u>Passerby Capture (2)</u>	<u>New Daily Trip Ends</u>
Aldi	854	17,018 SF	1,546	356	1,190

(1) Source: ITE Trip Generation, 9th Edition, 2012.

(2) Source: ITE Trip Generation Handbook, 2nd Edition.



TABLE 2  
 AM PEAK HOUR PROJECT TRAFFIC

Land Use	ITE LUC	Size	AM Peak Hour Trip Ends (1)		Passerby Capture (2)		New AM Peak Hour Trip Ends	
			In	Out	In	Out	In	Out
Aldi	854	17,018 SF	25	18	6	4	19	14
				43		10		33

(1) Source: ITE Trip Generation, 9th Edition, 2012.

(2) Source: ITE Trip Generation Handbook, 2nd Edition.

TABLE 3  
 PM PEAK HOUR PROJECT TRAFFIC

Land Use	ITE LUC	Size	PM Peak Hour Trip Ends (1)			Passerby Capture (2)			New PM Peak Hour Trip Ends		
			In	Out	Total	In	Out	Total	In	Out	Total
Aldi	854	17,018 SF	87	86	173	20	20	40	67	66	133

Page 164 of 204

(1) Source: ITE Trip Generation, 9th Edition, 2012.

(2) Source: ITE Trip Generation Handbook, 2nd Edition.

### ANALYSIS PERIOD

Since the project is estimated to attract more PM peak hour traffic, this analysis will include only the PM (4:00 to 6:00) peak hour.

### PROJECT TRAFFIC DISTRIBUTION

The project traffic was distributed to the surrounding roadway network based on existing travel patterns. The distribution of the new project trip ends was estimated to be as follows:

- 35% to and from the east via SR 70
- 35% to and from the west via SR 70
- 10% to and from the north via 45<sup>th</sup> Street East
- 20% to and from the south via Lockwood Ridge Road

Figure 2 illustrates the PM peak hour project traffic assigned to the roadways within the study area.

### STUDY AREA

The study area for this analysis was determined to include all major road network facilities in which the peak hour project traffic consumes five percent or more of the adopted level of service capacity of the roadway.



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

LEGEND

- 11 = NEW PROJECT TRAFFIC
- <2> = PASSERBY PROJECT TRAFFIC

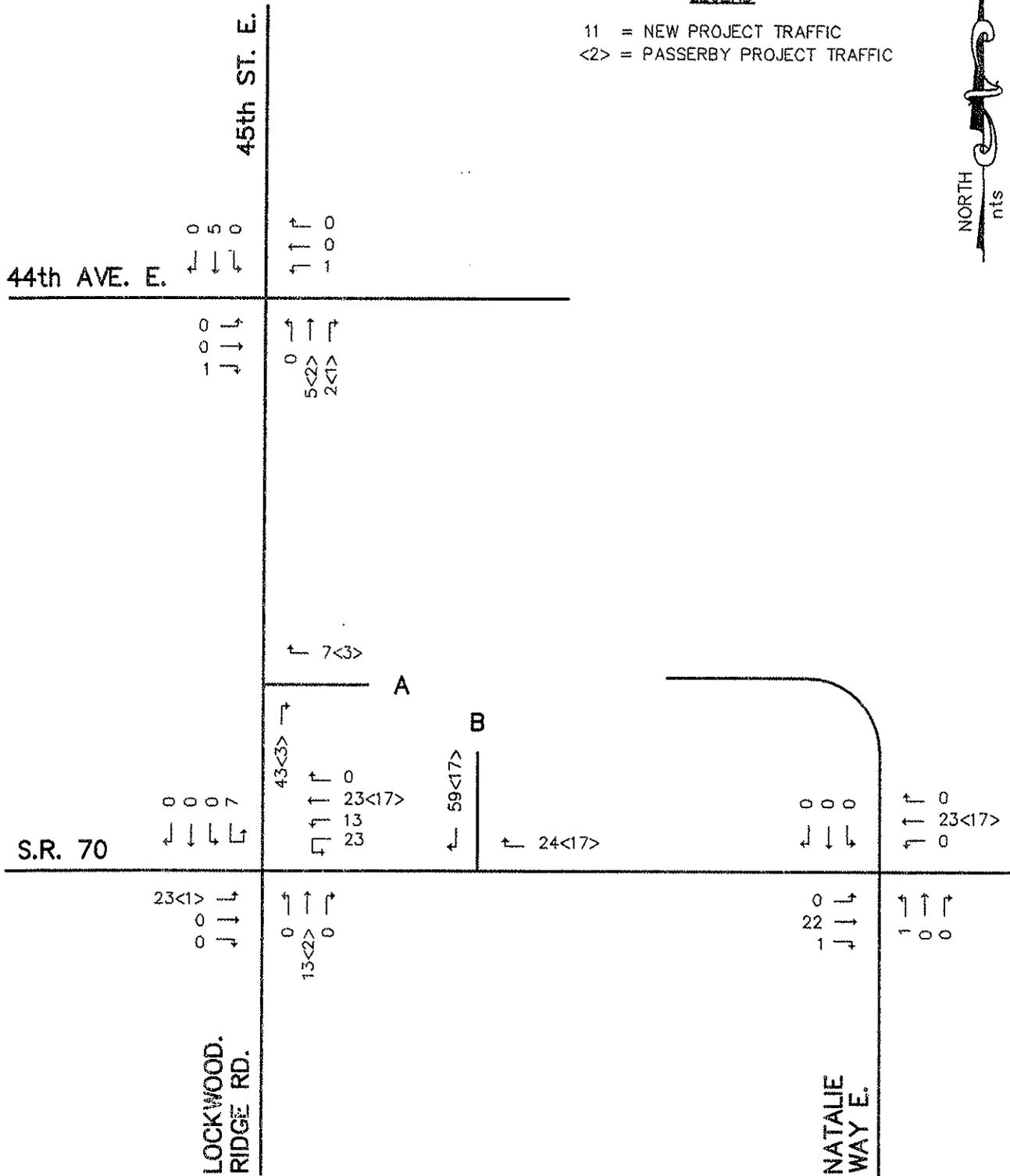


FIGURE 2  
 PM PEAK HOUR  
 PROJECT TRIPS



TABLE 4  
 STUDY AREA DETERMINATION

<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>Lanes</u>	<u>Peak Hour Capacity (1)</u>	<u>New PM Peak Hour Project Traffic (2)</u>	<u>Percent Consumed</u>
SR 70	39th St. E	45th St. E	6LD	5,390	46	0.9%
	45th St. E	Natalie Way	6LD	5,390	47	0.9%
Lockwood Ridge Rd.	56th Ave. E	SR 70	4LD	3,222	26	0.8%
45th St. E.	SR 70	44th Ave. E	4LD (3)	3,222	13	0.4%

(1) Source: 2012 FDOT Generalized Level of Service Handbook tables.

Lockwood Ridge Rd./45th St. E.:  $3,580 \times 0.90 = 3,222$

(2) See Figure 2, Project Traffic, of this report.

(3) 45th Street East, north of SR 70, is budgeted to be widened to a 4 LD facility in the Manatee County Adopted CIP.

Table 4 shows the Study Area Determination for the project. As shown in the table, the project would consume less than 1.0% of any roadway link peak hour capacity adjacent to the project site. However, as required by Manatee County staff, the study area will consist of the following roadway segments:

- SR 70 from 45<sup>th</sup> Street East to Natalie Way
- 45<sup>th</sup> Street East from SR 70 to 44<sup>th</sup> Avenue East

The major intersections within the study area in which detailed intersection analysis was conducted are as follows:

- SR 70 at 45<sup>th</sup> Street East
- SR 70 at Natalie Way
- 45<sup>th</sup> Street East at 44<sup>th</sup> Avenue East

#### BUDGETED IMPROVEMENTS

According to the Manatee County Capital Improvement Program, there is one (1) project budgeted for construction:

- Widen 45<sup>th</sup> Street East from 44<sup>th</sup> Avenue East to SR 70 to a four (4) lane divided facility. At the intersection of SR 70 and 45<sup>th</sup> Street East, the southbound approach was assumed to have dual left turn lanes and one (1) through shared/right turn lane. In addition, an approximate 50 foot northbound right turn lane will be constructed at the project driveway as part of the widening of 45<sup>th</sup> Street.



Since this project is budgeted for construction, it will be considered as existing geometry in the analysis.

### BUILDOUT

It is anticipated the project will have a 2017 buildout date.

### BACKGROUND TRAFFIC

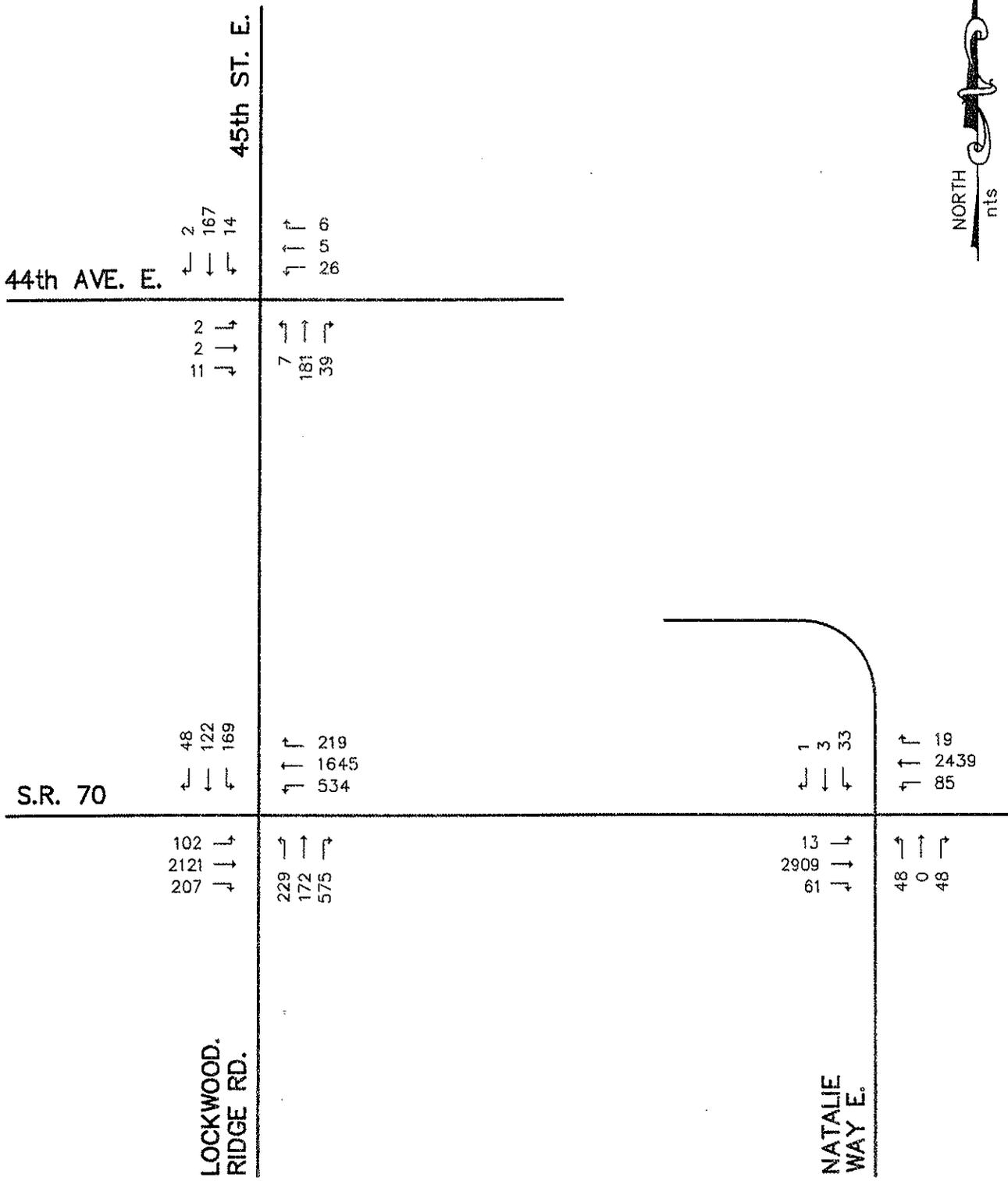
Lincks & Associates, Inc. obtained or conducted PM peak hour intersection turning movement counts at the following intersections:

- SR 70 and 45<sup>th</sup> Street East/Lockwood Ridge Road
- SR 70 and Natalie Way
- 45<sup>th</sup> Street East and 44<sup>th</sup> Avenue East

These counts, which are contained in the appendix of this report, were adjusted to peak season traffic volumes based on the FDOT's Peak Season Adjustment Factors for Manatee County. Figures 3 and 4 illustrate the existing and peak season traffic volumes within the study area, respectively.

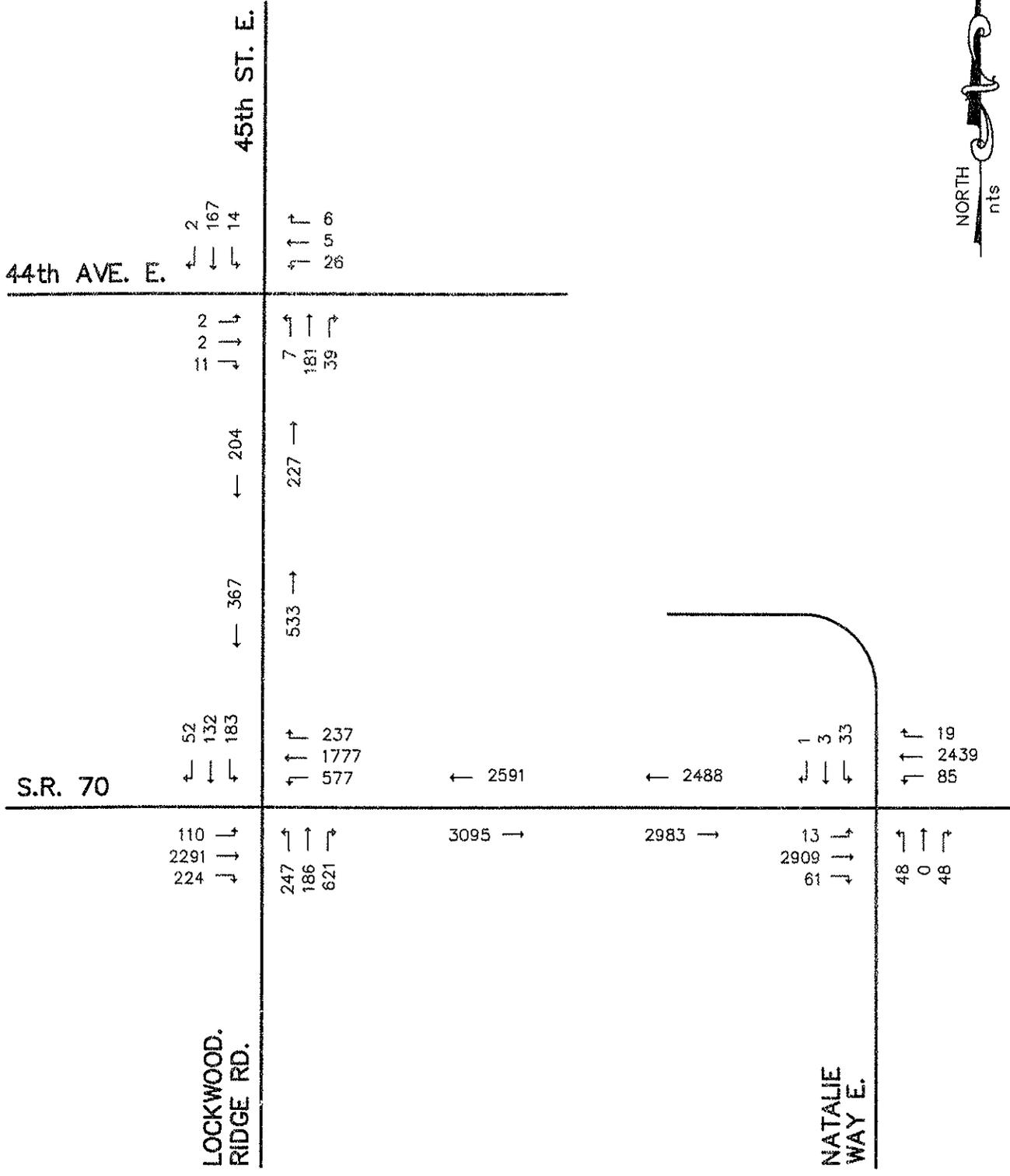
Per the study methodology, vested/reserved traffic from the latest Manatee County Concurrency Reservation List (see appendix) was added to the peak season traffic to obtain the total background traffic within the study area for year 2017. Figure 5 illustrates the year 2017 background traffic volumes with the vested/reserved trips for the PM peak hour. Figure 6





**FIGURE 3**  
 PM PEAK HOUR  
 EXISTING TRAFFIC





**FIGURE 4**  
 PM PEAK HOUR  
 PEAK SEASON TRAFFIC





illustrates the 2017 background traffic with vested/reserved trips plus project trips for the PM peak hour.

## INTERSECTION ANALYSIS

A detailed intersection analysis using the SYNCHRO (Version 8) traffic engineering software was conducted for the PM peak hour at the following intersections:

- SR 70 and 45<sup>th</sup> Street East/Lockwood Ridge Road
- SR 70 and Natalie Way
- 45<sup>th</sup> Street East and 44<sup>th</sup> Avenue East

Tables 5 and 6 summarize the results of the signalized and unsignalized intersection analyses, respectively, and the results are discussed in the following paragraphs.

### SR 70 and 45<sup>th</sup> Street East

The signalized intersection analysis indicates that this intersection currently operates at an unacceptable level of service (i.e., less than Level of Service D) during the PM peak hour. With the addition of the vested/reserved trips, the 2017 background traffic with existing geometry, the intersection would continue to operate at an unacceptable level of service during the PM peak hour. Therefore, according to HB 7207, additional geometric improvements are necessary to mitigate the problem. Those improvements are as follows:

- Eastbound left turn lane
- Eastbound through lane with a drop
- Westbound left turn lane



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

LEGEND

- 13 = BACKGROUND TRAFFIC
- (23) = NEW PROJECT TRAFFIC
- <36> = PASSERBY PROJECT TRAFFIC

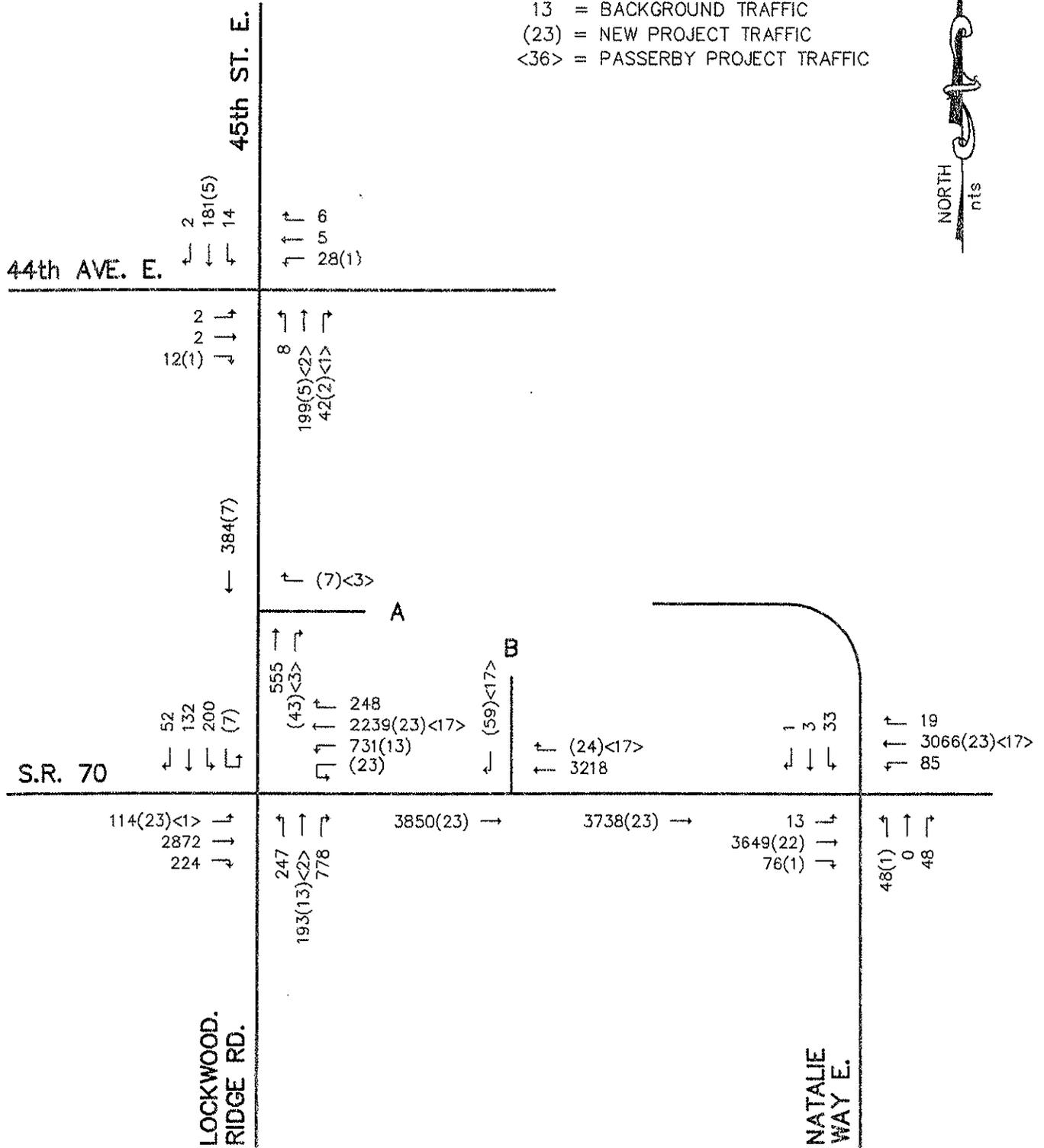


FIGURE 6  
 PM PEAK HOUR  
 2017 BACKGROUND  
 PLUS PROJECT TRAFFIC



TABLE 5  
 ESTIMATED INTERSECTION  
 LEVEL OF SERVICE (SIGNALIZED)

Intersection	Time Period	2014 Peak Season Traffic		2017 Background Traffic		Required Improvements	2017 Background Traffic with Improvements		2017 Background Plus Project Traffic With Improvements	
		Delay	LOS	Delay	LOS		Delay	LOS	Delay	LOS
SR 70 and 45th St. E.	PM	109.0	F	185.9	F	EB left, EB thru w/ drop, WB left, NB left, NB thru, NB right, SB thru, SB right	48.1	D	49.8	D
	PM	27.5	C	55.2	E	EB right turn lane	28.0	C	28.9	C

TABLE 6

ESTIMATED INTERSECTION

LEVEL OF SERVICE (UNSIGNALIZED)

PM PEAK HOUR

Intersection	Direction	PM Peak Hour									
		2014					2017				
		Peak Season Traffic Level of Service		Background Traffic Level of Service		Background Traffic Level of Service		Background Traffic Level of Service		Background Traffic Plus Project Traffic Level of Service	
		Left	Through	Right	Left	Through	Right	Left	Through	Right	
45th St. E. and 44th Ave. E.	NB	A	*	*	A	*	*	*	A	*	*
	SB	A	*	*	A	*	*	A	A	*	*
	EB	A	A	A	A	A	A	A	B	B	B
	WB	B	B	B	B	B	B	B	B	B	B
45th St. E. and Project Driveway A	WB	-	-	-	-	-	-	-	-	-	A
SR 70 and Project Driveway B	SB	-	-	-	-	-	-	-	-	-	D

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

\*Free flow movement; therefore, the level of service was not calculated.

- Northbound left turn lane
- Northbound through lane
- Northbound right turn lane
- Southbound through lane
- Southbound right turn lane

The Manatee Comprehensive Plan Table 5.1 indicates that SR 70 in the vicinity of the project will remain a six lane divided roadway. As a result, without adding additional through capacity on SR 70, the only alternative to meet the required V/C ratio was to create triple left turn lanes on three of the four approaches. According to the County, that is not a practical solution. Therefore, a more realistic solution was to add an eastbound through lane for a short distance upstream and downstream of the intersection.

The PM peak hour capacity analysis for the 2017 background traffic with the required background improvements shows the intersection should operate at a Level of Service D. With the addition of the project traffic, the intersection should continue to operate at a Level of Service D during the PM peak hour.

#### SR 70 and Natalie Way

The signalized intersection analysis indicates that this intersection currently operates at an acceptable level of service (i.e., Level of Service D or better) with peak season traffic and existing geometry during the PM peak hour. With the addition of the vested/reserved trips, the 2017 background traffic with existing geometry may operate at Level of Service E during the PM peak hour. However, the V/C ratio for certain movements exceeded 1.0. Therefore, according to HB 7207, additional geometric improvements are necessary to mitigate the



problem. An exclusive eastbound right turn lane was considered. The PM peak hour capacity analysis for the 2017 background traffic with the required background improvement resulted in the intersection operating at Level of Service C and all movements at the intersection have a V/C ratio less than 1.0. With the addition of the project traffic, the intersection should continue to operate at a Level of Service C during the PM peak hour.

#### 45<sup>th</sup> Street East and 44<sup>th</sup> Avenue East

The unsignalized intersection is currently a two-way stop sign controlled intersection. According to the unsignalized intersection analysis, all movements at this intersection currently operate at an acceptable level of service (Level of Service D) during the PM peak hour. Considering 2017 background traffic conditions, all movements at this intersection should operate at an acceptable level of service during the PM peak hour. With the addition of the project traffic, all movements at this intersection should operate at an acceptable level of service during the PM peak hour.

#### 45<sup>th</sup> Street East and Project Driveway A

The project driveway is proposed to have right-in/right-out access to 45<sup>th</sup> Street East. The unsignalized intersection analysis indicates that the westbound right turn should operate at an acceptable level of service during the PM peak hour with the project traffic.

#### SR 70 and Project Driveway B

The project driveway is proposed to have right-in/right-out access to SR 70. According to the unsignalized intersection analyses, the southbound right turn should operate at a Level of Service D during the PM peak hour with project traffic.



## GENERALIZED LINK ANALYSIS

A generalized link analysis was conducted for those roadways within the area of influence for the following traffic conditions:

- 2014 Peak Season Traffic
- 2017 Background Traffic
- 2017 Background Plus Project Traffic

Table 7 presents the results of the analysis for the 2014 peak season peak direction traffic conditions. According to results shown in the table, there currently is excess capacity along 45<sup>th</sup> Street East and SR 70 may operate below the adopted level of service in the vicinity of the project. With the addition of the vested/reserved trips, the 2017 background traffic with existing geometry SR 70 may continue to operate below the adopted level of service. The addition of an eastbound through lane on SR 70 provides the needed capacity to operate at an acceptable level of service. With the project traffic added to the 2017 background traffic with required improvements, it is estimated that all roadway segments within the vicinity of the project should operate at an acceptable level of service, as shown in Table 8.

## ACCESS EVALUATION

The access evaluation included in this report is based on a field review of the site, the proposed site plan and the Transportation Analysis. The methodology utilized to determine the need for a right turn lane on SR 70 was based on the Florida Department of Transportation (FDOT) publication entitled, "Exclusive Right Turn Lanes at Unsignalized Intersections, When Should We Require Them?" and the need for a right turn lane on 45<sup>th</sup> Street was based on NCHRP



TABLE 7  
 2014 PEAK SEASON TRAFFIC GENERALIZED LINK ANALYSIS

<u>Roadway</u>	<u>From</u>	<u>To</u>	<u>Peak Hour</u>	<u>Link No.</u>	<u>LOS Standard</u>	<u>Lanes</u>	<u>Peak Hour Peak Direction Capacity (1)</u>	<u>Peak Direction</u>	<u>Peak Season Traffic (2)</u>	<u>Available Capacity</u>
SR 70	45th St. E.	Natalie Way	PM	3105	D	6LD	3,020	Eastbound	3,095	<75>
45th St. E.	SR 70	44th Ave. E.	PM	1760	D	4LD	1,800	Northbound	533	1,267

(1) Source: 2012 FDOT Q/LOS Generalized Tables, dated December 18, 2012.

45th St. E.:  $2,000 \times 0.90 = 1,800$

(2) See Figure 4, Peak Season Traffic, of this report.

TABLE 8  
 2017 BACKGROUND PLUS PROJECT TRAFFIC GENERALIZED LINK ANALYSIS  
 PM PEAK HOUR

Roadway	From	To	Link No.	Standard Lanes	Capacity (1)	Peak Direction	Peak Season			Required Improvements	New Capacity	Project Traffic (4)	2017 Background Plus Project Traffic (5)	Available Capacity	
							Peak Direction Traffic (2)	Vested Traffic (3)	2017 Background Traffic						
SR 70	45th St. E.	Project Driveway	3105	D	6LD	3,020	Eastbound	3,095	755	3,850	EBT	4,040	23	3,873	167
SR 70	Project Driveway	Natalie Way	3105	D	6LD	3,020	Eastbound	3,095	755	3,850	EBT	4,040	23	3,873	167
45th St. E.	SR 70	Project Driveway	1760	D	4LD	1,800	Northbound	533	25	558	-	1,800	43	601	1,199
45th St. E.	Project Driveway	44th Ave. E.	1760	D	4LD	1,800	Northbound	533	25	558	-	1,800	7	565	1,235

(1) Source: 2012 Q/LOS Generalized Tables, dated December 18, 2012.

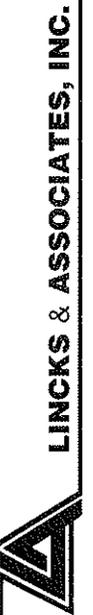
45th St. E.:  $2,000 \times 0.90 = 1,800$

(2) See Figure 4, Peak Season Traffic, of this report.

(3) Manatee County Concurrency Reservation List. See Figure A-1 for distribution/assignment of vested/reserved trips.

(4) See Figure 2, Project Traffic, of this report.

(5) See Figure 6, 2017 Background Plus Project Traffic, of this report.



279. Figure 7 illustrates the 2017 peak season plus project traffic (without the vested/reserve trips) for the PM peak hour used in the access evaluation. The access recommendations are summarized in Table 9 and described in the following paragraphs:

SR 70 and Project Driveway B

This project driveway is proposed to be a right-in/right-out only driveway to SR 70. Based on the estimated 2017 peak season plus project traffic, a westbound right turn lane is not warranted.

45<sup>th</sup> Street East and Project Driveway A

This project driveway is proposed to be a right-in/right-out driveway to 45<sup>th</sup> Street East. Based on the estimated 2017 peak season plus project traffic, a northbound right turn lane or taper is not warranted based on the following:

- NCHRP Report 279 has two sections that deal with the warrants for exclusive right turn lanes, at urban intersections and at suburban/rural high speed intersections. Figure 4-23 is applicable for suburban/rural high speed intersections and even has a note to that affect. 45<sup>th</sup> Street East has a posted speed limit of 40 MPH in the vicinity of the proposed project driveway. From an urban section, there are three (3) factors that may contribute to a need for a right turn lane:
  1. Significant percentage of approach volume as right turning volume. The right turn volume is approximate 8.0% of the approach volume. This is not a significant percentage.



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

LEGEND

- 13 = PEAK SEASON TRAFFIC
- (23) = NEW PROJECT TRAFFIC
- <36> = PASSERBY PROJECT TRAFFIC

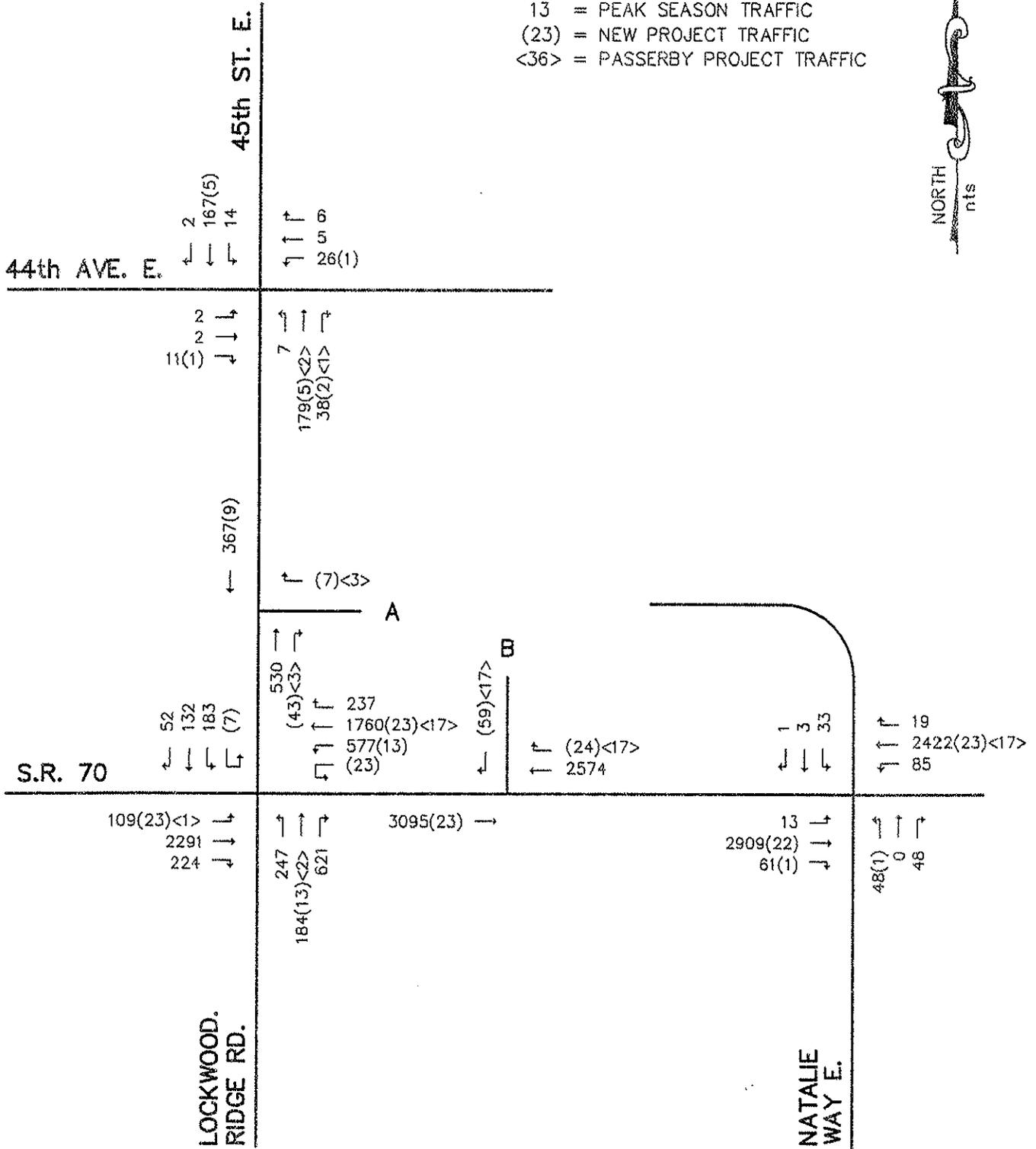


FIGURE 7  
 PM PEAK HOUR  
 2017 PEAK SEASON  
 PLUS PROJECT TRAFFIC

TABLE 9  
 ACCESS EVALUATION

<u>Intersection</u>	<u>Time Period</u>	<u>Improvement</u>	<u>Volume</u>	<u>Turn Lane Warranted?</u>
SR 70 and Project Driveway	PM	WBR	41	No
45th St. E. and Project Driveway	PM	NBR	46	No

2. Presence of pedestrians who would conflict with right turn vehicles. This is not a high pedestrian section of roadway.
  
  3. Severe skew or grade that increases the difficulty of right turns. There is nothing that increases the difficulty of the right turns at this proposed driveway. Furthermore, Table 4-7 provides a summary of multi-lane roadways, Virginia and West Virginia are the only two that shows warrants and both show the warrant to be above 90 right turns, we will have 46.
- The FDOT Driveway Information Guide, Section 7.2 also provides warrants for right turn lanes. Based on the speed limit of 45 MPH or less, the warrant is 80-125. In fact, the warrant for over 45 MPH is 35-55. This is somewhat consistent with Figure 4-23 from NCHRP Report 279.
  
  - Based on the intersection analysis provided with the report, the proposed intersection would operate at an acceptable level of service without a right turn lane or additional taper.

Based on the above justification, a northbound taper (or right turn lane) on 45<sup>th</sup> Street East at our proposed project driveway is not warranted. However, as part of the budgeted widening project for 45<sup>th</sup> Street East, an approximate 50 foot right turn lane will be constructed. The 50 foot turn lane is anticipated to include a 25 foot taper and 25 feet of storage.



## TURN LANE LENGTH EVALUATION

The turn lane length evaluations were based on the queuing results from the SYNCHRO intersection analysis and the required total deceleration lengths from FDOT's Standard Index 301 for the following intersection movement:

- SR 70 and 45<sup>th</sup> Street East – eastbound left and westbound left

Table 10 summarizes the results of the turn lane length evaluation, and the results are discussed in the following paragraph:

### SR 70 and 45<sup>th</sup> Street East

According to the results of the evaluation, the length of the eastbound left turn lane should be 415 feet based upon 2017 peak season plus project traffic conditions. The existing turn lane length (550 feet) should accommodate the project traffic. The length of the westbound left turn lane should be 715 feet based on the evaluation. The existing turn lane (650 feet) is constrained by the eastbound left turn lane at the intersection of SR 70 and 47<sup>th</sup> Street East. Therefore, this turn lane cannot be lengthened.

## CONCLUSION

Based on the above transportation analysis, all links within the study area should operate at an acceptable level of service with background traffic and the mitigated improvements. Furthermore, all intersections within the study area are anticipated to operate at an acceptable level of service



TABLE 10  
 TURN LANE LENGTH EVALUATION

<u>Intersection</u>	<u>Movement</u>	<u>Volume (1)</u>	<u>Queue Storage (2)</u>	<u>Total Deceleration Length (3)</u>	<u>Total Length</u>	<u>Existing Length</u>	<u>Note</u>
SR 70 and 45th St. E.	EBL	133	175	240	415	550'	Existing length constrained by WBL at 39th St. E.
	WBL	613	475	240	715	650'	Existing length constrained by 47th St. E.

(1) Peak season plus project traffic, see Figure 7, of this report.

(2) Based on 95th percentile queue storage from SYNCHRO.

(3) Based on FDOT Standard Index 301 and a speed limit of 50 MPH:

- SR 70: 50 MPH, Total deceleration length = 240 feet.

with background plus project traffic and those same required geometric improvements for the background conditions with the exception of the intersection of SR 70 and Project Driveway B.

At SR 70 and 45<sup>th</sup> Street East/Lockwood Ridge Road, an additional eastbound left turn, eastbound through with a lane drop immediately east of the intersection, westbound left turn, northbound left turn, northbound through, northbound right turn, northbound through, and northbound right turn lanes are required to achieve an acceptable volume to capacity ratio for the 2017 background traffic conditions. At SR 70 and Natalie Way, an eastbound right turn lane is required to achieve an acceptable level of service during the PM peak hour. No additional improvements are required with the project traffic. Therefore, according to HB 7207, there is no proportionate share cost for the improvements required due to the background traffic.

At the project driveway along SR 70, the Level of Service D conditions can be expected during the PM peak hour for the southbound right turn movement under 2017 background plus project traffic conditions.

Regarding the turn lane lengths evaluated at SR 70 and 45<sup>th</sup> Street East, the eastbound left turn lane is adequate but the length of the westbound turn lane cannot be lengthened due to physical constraints, such as other intersections, turn lanes or driveway connections. Therefore, no changes are recommended for the evaluated turn lanes.

Table 11 summarizes the required background improvements. No additional improvements were required with the addition of the project traffic.



TABLE 11

REQUIRED IMPROVEMENTS

<u>Intersection</u>	<u>2017 Background Traffic Required Improvements</u>	<u>2017 Background Plus Project Traffic Additional Improvements</u>
SR 70 and 45th Street East	EBL, EBT w/ lane drop, WBL, NBL, NBT, NBR, SBT, SBR	None
SR 70 and Natalie Way	EBR	None



Public Safety Department  
Emergency Communications Center  
2101 47<sup>th</sup> Ter E  
Bradenton, FL 34203  
Phone: (941) 749-3500  
www.mymanatee.org

MEMORANDUM

Date: November 20, 2014

To:	Owner Agent United Postal Service Local Fire District Manatee County Utilities ECC – 911 FPL/Peace River Electric Manatee County IT Department	Bright House Networks Supervisor of Elections Office Building Department Zoning Permitting House of Maps Manatee County Traffic Mgmt Verizon
-----	---	---

From: Vickie Warner, Address Coordinator  
Manatee County Public Safety

Re: Address Plan

Project: Aldi Grocery Store (East Bradenton)  
Project File Number – PDC 14-27(Z)(P)  
MEPS # N/A DTS # 20140444  
PIN # 17607,17602, 17602.0005, 17611 Section 16 Township 35 Range 18  
Postal Community: **Bradenton** Zip: **34203**

Attached you will find a copy of the address plan for this project. Please be aware that changes may occur if the developer adds, deletes or reconfigures any lots, units or streets. If there are any changes, you will be notified.

For any new project that has received Board approval to use **named streets**, please note that Section 742.6.5 of the Land Development Code states that **Where names are used, the block numbers shall be included under the name**". The Code also states in Section 742.12 that **"Temporary street designation signs shall be installed at the time building permits are issued in that portion of a development, at all points where permanent signs will be required. Complete visibility of street signs shall be maintained by the developer until the temporary signs are replaced by permanent signs"**. If the block ranges are not included on your street signs or if temporary street signs are not installed by building permit issuance, building inspections will be delayed until the signs are installed. These requirements are being enforced for public safety and location purposes.

If you have any questions, please do not hesitate to contact me at (941) 749-3500 Ext. 1678

Page 190 of 204

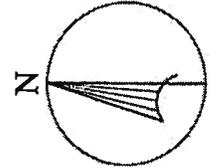
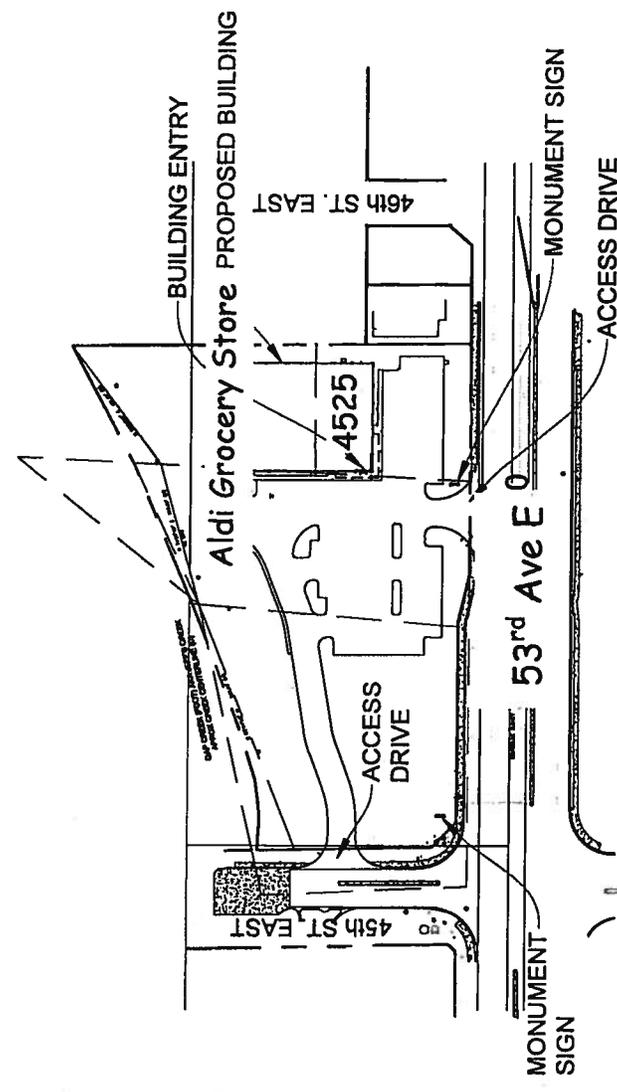
Issue:	Date:
A) PROPOSED SIGNAGE	1/7/14
B) ADDRESS REVISIONS	1/7/14
C)	
D)	
Revisions:	Date:
1	
2	
3	
4	
5	

PREPARED BY: [Name]  
 SEAL: [Name]  
 PROJECT ENGINEER: [Name]  
 DRAWN BY: [Name]  
 CHECKED: [Name]



STATE ROUTE 70 AT 45TH STREET E.  
**PROPOSED ALDI STORE #54**

Project Name & Location  
**PRELIMINARY ADDRESSING EXHIBIT**  
 Drawing Name:  
 Date: 8/19/13  
 Project No.  
 Reviset:  
 Drawn By: ds  
 Scale: AS SHOWN  
**AE-2**  
 Drawing No.



SCALE: 1" = 200'

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Bradenton Herald**

Jan. 29, 2015

Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED  
MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II**

(DTS #20140382)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC/ ALDI - BRADENTON**

(DTS #20140444)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning\\_agenda@mymanatee.org](mailto:planning_agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.  
MANATEE COUNTY PLANNING COMMISSION

Manatee County Building  
and Development Services  
Department  
Manatee County, Florida  
01/29/2015

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**Sarasota Herald-Tribune**

Jan. 29, 2015

Miscellaneous Notices

NOTICE OF ZONING CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, February 12, 2015 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

**PDR-14-24(P) - HERON CREEK, PHASE II (DTS #20140382)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 45 single family attached lots on approximately 17.705 acres located at 7600 36th Avenue East, Palmetto, FL; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-23(Z)(P) - UNIVERSITY PARKWAY SHOOT STRAIGHT (DTS #20140302)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 9.78 acres, at 2335 University Parkway, Sarasota, Florida from PDR (Planned Development Residential) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for a Medium Intensity Recreation facility (Indoor Shooting Range) and a Neighborhood Retail business; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDC-14-27(Z)(P) - ALDI, INC / ALDI - BRADENTON (DTS #20140444)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the Official Zoning Atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezone of approximately 3.87 acres located on the northeast corner of 53rd Avenue East (SR 70) and 45th Street East at 4525 53rd Avenue East, Bradenton from GC (General Commercial [1.41 acres]), A-1 (Suburban Agriculture [1.18 acres]), and PR-M (Professional-Medium [1.28 acres]) to the PDC (Planned Development Commercial) zoning district; approve a Preliminary Site Plan for 17,018 square feet of retail use area (grocery store), subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, Local Development Agreements, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: [planning.agenda@mymanatee.org](mailto:planning.agenda@mymanatee.org)

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Americans with Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.  
MANATEE COUNTY PLANNING COMMISSION  
Manatee County Building and Development Services Department  
Manatee County, Florida

Date of pub: January 29, 2015

# PLANNED DEVELOPMENT COMMERCIAL REZONE/PRELIMINARY SITE PLAN

## FOR

# ALDI INC.

## SR 70 AT 45th STREET EAST BRADENTON, MANATEE COUNTY, FL

PID: 1760700003 / 1760200004 / 1761100005 / 1760200053

### PROJECT DATA

TOTAL PROJECT ACREAGE: +/- 3.87 ACRES (±168,768 SF)

#### EXISTING ZONING/FLU:

- PARCEL 1: GC/ROR
- PARCEL 2: A-1/ROR
- PARCEL 3: PR-M/ROR
- PARCEL 4: PR-M/ROR

#### PROPOSED ZONING: PCD

PROPOSED FLU: ROR  
PROPOSED USE: 17,018 SF GROCERY STORE

PROJECT PHASING: THE PROJECT WILL NOT BE BUILT BY PHASES

MAX. ALLOWABLE F.A.R. = 0.35 IF MAX. SETBACKS ARE USED  
PROPOSED F.A.R. = 0.10

MAX. ALLOWED BUILDING HEIGHT: 35'  
PROPOSED BUILDING HEIGHT: 22'-6"

#### REQUIRED SETBACKS:

- F - 30' (SR 70)
- S - 35' (45th ST. EAST)
- S - 15' (EAST)
- R - 30' (NORTH-WATERFRONT)

#### PROPOSED SETBACKS:

- F - 99.9' (SR 70)
- S - 408.1' (45th ST. EAST)
- S - 15.9' (EAST)
- R - 109.4' (NORTH-WATERFRONT)

REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
PROVIDED TOTAL OPEN SPACE: 45% (74,547 SF AS FOLLOWS)

- POND AREA: 19,750 SF
- LANDSCAPE BUFFERS: 11,950 SF
- WETLAND BUFFER: 17,850 SF
- VUA INTERNAL LANDSCAPE AREA: 1,967 SF
- BUILDING FOUNDATION LANDSCAPE AREA: 580 SF
- ADDITIONAL OPEN SPACE: 22,450 SF

#### BUFFERS:

- FRONT (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED
- SIDE (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED
- SIDE - 15' PLANTED BUFFER REQUIRED AND PROVIDED
- REAR - 15' PLANTED BUFFER REQUIRED AND PROVIDED
- WETLAND BUFFER - 30' NON-DISTURBED REQUIRED AND PROVIDED

#### DRAINAGE EASEMENTS:

- REQUIRED ALONG GAP CREEK
- 20' REQUIRED DRAINAGE-MAINTENANCE ACCESS EASEMENT FROM SOUTHERN TOP OF BANK

#### PARKING AND LOADING REQUIREMENTS FOR PROPOSED USE:

- REQUIRED PARKING: 1 SPACE/200 SF G.F.A. = 17,018/200 = 85 SPACES
- PROPOSED PARKING: 86 SPACES INCLUDING 4 HANDICAP SPACES
- STANDARD STALL DIMENSIONS: 9'X19' REQUIRED AND PROVIDED
- HANDICAP STALL DIMENSIONS: 12'X19' REQUIRED AND PROVIDED
- REQUIRED LOADING SPACE: 1 SPACE FOR THE FIRST 10,000 SF OF G.F.A. PLUS 1 SPACE FOR EACH ADDITIONAL 15,000 SF OR MAJOR FRACTION THEREOF = 17,018 G.F.A. REQUIRES 1 LOADING SPACE
- PROPOSED LOADING SPACE: 1 SPACE
- NOTE: PROPOSED LOADING SPACE EXCEEDS THE STANDARD LOADING SPACE DIMENSIONS OF 15'(W)X35'(L)X15'(H)
- REQUIRED BICYCLE PARKING SPACE: 1 SPACE PER 1,000 SF OF G.F.A. FOR THE FIRST 10,000 SF OF G.F.A. AND 1 SPACE FOR EACH 10,000 SF THEREAFTER = 17,018 G.F.A. REQUIRES 11 BICYCLE SPACES
- PROPOSED BICYCLE PARKING SPACES: 12 SPACES

### AGENCY AND UTILITY CONTACTS

**BUILDING AND PERMITTING:**  
1112 MANATEE AVENUE WEST  
BRADENTON, FL 34205  
CONTACT:  
PHONE: 941-749-3047  
FAX: 941-742-5825  
EMAIL:

**WATER/WASTEWATER:**  
MANATEE CO. UTILITIES DEPT.  
4410 69th STREET WEST  
BRADENTON, FL 34210  
CONTACT:  
PHONE: 941-792-8811  
EMAIL:

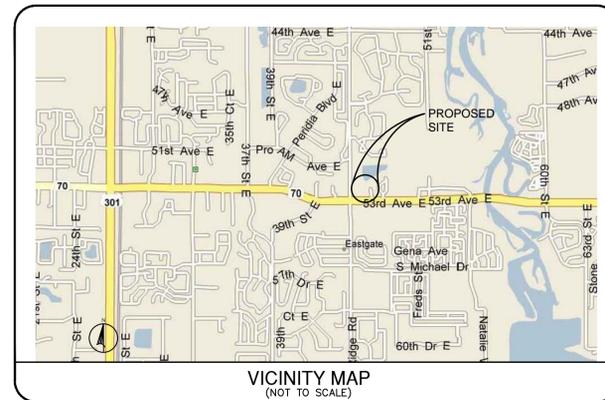
**FIRE DEPARTMENT:**  
SOUTHERN MANATEE FIRE RESCUE  
2451 TRAILMATE DRIVE  
SARASOTA, FL 34243  
CONTACT:  
PHONE: 941-751-7675  
FAX: 941-751-7694  
EMAIL:

**PLANNING AND ZONING:**  
1112 MANATEE AVENUE WEST  
BRADENTON, FL 34205  
CONTACT:  
PHONE: 941-749-3070  
FAX: 941-708-6152  
EMAIL:

**POWER:**  
FPL  
PALMETTO, FL 34221  
CONTACT: KENNETH STEELE  
PHONE: 941-723-4428  
EMAIL: KENNETH.STEELE@FPL.COM

**TELEPHONE:**  
VERIZON/BRIGHTHOUSE

**CONTACT:**  
PHONE:  
EMAIL:



### GENERAL NOTES:

1. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT COMMERCIAL SITE SOLUTIONS, INC. (813-885-2032) AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. OWNER AND COMMERCIAL SITE SOLUTIONS, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
4. CALL FLORIDA ONE CALL: UTILITY LOCATOR SERVICE 72 HOURS IN ADVANCE OF DIGGING AT 1-800-432-4770.
5. ALL WORK SHALL CONFORM TO THE MANATEE COUNTY STANDARDS AND SPECIFICATIONS.
6. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA OR MANATEE COUNTY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
7. PRE-CAST DRAINAGE AND SANITARY SEWER STRUCTURES HAVE BEEN SPECIFIED ON THE PLANS. OWNER AND COMMERCIAL SITE SOLUTIONS, INC., HOWEVER, ASSUME NO RESPONSIBILITY FOR THESE STRUCTURES AS FIELD CONDITIONS DURING CONSTRUCTION OFTEN DICTATE MINOR ELEVATION ADJUSTMENTS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND EXPENSE FOR MODIFYING THESE STRUCTURES TO ACCOMMODATE THESE FIELD ADJUSTMENTS.
8. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT, PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT WATER AND SEWER PLANS TO BE SUBMITTED TO MANATEE COUNTY AND/OR THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH OBTAINING PERMITS TO OPERATE AND RELEASE OF BONDS.
9. ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF MANATEE COUNTY AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CONSTRUCTION PERMIT.
10. A COPY OF THE FINANCIAL RESPONSIBILITY FORM AND THE STORM WATER POLLUTION PREVENTION PLAN MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
11. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT AND/OR FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
12. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
13. SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO INSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
14. ALL DRAINAGE STRUCTURES MUST MEET FDOT AND THE MANATEE COUNTY STANDARD SPECIFICATIONS.
15. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROVIDED SITE WORK SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WITHIN RIGHT OF WAY. THIS IS TO BE DONE IN ACCORDANCE WITH M.U.T.C.D.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. (BY OTHERS)
17. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS (BY OTHERS)
18. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
19. ANY/ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
20. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED SPECIFIED ON THESE PLANS.

**WARRANTY/DISCLAIMER:**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

**SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

### CONTACT LIST

OWNER/DEVELOPER: ALDI, INC.  
CONTACT: EMILIE MASON, DIR. OF REAL ESTATE  
2651 SR 17 SOUTH  
P.O. BOX 97  
HAINES CITY, FL  
PHONE: (863) 353-4919  
EMAIL: emilie.mason@aldi.us

ENGINEER: COMMERCIAL SITE SOLUTIONS, INC.  
CONTACT: SCOTT STANNARD, PE  
21764 STATE ROAD 54  
LUTZ, FL 33549  
PHONE: (813) 885-2032  
EMAIL: sstannard@css-eng.com

SURVEYOR:  
WILLIAM C. WARD, PLS  
650 PINELLAS BAYWAY, SUITE 2101  
TIERRA VERDE, FL 33715  
PHONE: (813) 817-1115  
EMAIL: craig@wward.com

### DRAWING LIST

- COVER SHEET -
- EXISTING CONDITIONS PLAN 1
- PRELIMINARY SITE PLAN 2
- PRELIMINARY SITE PLAN DIMENSIONING 3
- PRELIMINARY SITE PLAN FLOODPLAIN EXHIBIT 4
- PRELIMINARY CROSS SECTIONS 5
- PRELIMINARY SITE DETAILS 6
- PRELIMINARY TREE REMOVAL PLAN 7
- PRELIMINARY LANDSCAPE PLAN 8

### SHEET

### REVISIONS/SUBMITTALS:

- 10/07/14 - REZONE/COMPLETENESS REVIEW
- 10/16/14 - REZONE/PSP SUBMITTAL
- 12/02/14 - REZONE/PSP RESUBMITTAL

### OWNER/DEVELOPER:



**ALDI Inc.**

2651 SR 17 South  
PO Box 97  
Haines City, FL 33844  
(863) 353-4919 phone  
(863) 353-4939 fax

CONTACT: EMILIE MASON

### ENGINEER:



Commercial Site Solutions, Inc.

ENGINEERING • LANDSCAPE ARCHITECTS

402 EAST 1ST AVENUE 21764 STATE ROAD 54  
EASLEY, SC 29640 LUTZ, FL 33549  
864-855-5200 813-885-2032

Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

**SEASONAL HIGH-WATER TABLE:**  
 BASED ON THE GEOTECHNICAL EXPLORATION REPORT BY UNIVERSAL ENGINEERING SCIENCES, DATED MARCH 24, 2014 THE ESTIMATED SHWT IS ±3' BELOW EX. GRADE.

**FLOOD CERTIFICATION:**  
 BASED ON AN INSPECTION OF FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NO. 1201530334C, DATED 7-15-92, THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE AE 10.5 (ELEV 10.5 NAVD29 DATUM) = ELEV 9.6 ±NAVD88.

D-FIRM 12081C 0309E, EFFECTIVE 3-17-14, SHOWS NO CHANGE IN THE FLOOD ZONES. THE ONLY CHANGE IS THE DATUM TO 10.5' NAVD88.

**WELL AND HAZARDOUS MATERIALS NOTE:**  
 BASED ON THE SURVEY BY WILLIAM C. WARD, PLS DATED 2-24-14, THERE ARE NO EXISTING WELLS ON SITE THEREFORE A WELL MANAGEMENT PLAN WILL NOT BE REQUIRED.

**BUILDING HEIGHT INFORMATION:**  
 a. BUILDING HEIGHT: 16'-0" TO ROOF, 22'-6" TO TOP OF PARAPET  
 b. ONE STORY GROCERY STORE

**FLOODPLAIN/FLOODWAY NOTES:**

- PER MANATEE COUNTY, A NO-RISE PERMIT WILL BE REQUIRED FOR ALL ENCROACHMENT WITHIN THE FEMA 100-YEAR FLOODWAY OF GAP CREEK.
- ANY EXISTING OR PROPOSED STRUCTURES WITHIN THE 100-YEAR FLOODWAY SHALL BE MODELED.
- CONSTRUCTION WITHIN 50' OF THE 100-YEAR FLOODWAY WILL REQUIRE A LETTER OF MITIGATION SUBMITTED WITH THE BUILDING APPLICATION.

**UTILITY NOTES:**

- THE APPLICANT WILL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM.
- THE PROPOSED POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

**SIGNING AND PAVEMENT MARKING NOTES:**

ALL SIGNING AND PAVEMENT MARKINGS WITHIN THE PROPERTY SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT DESIGN STANDARDS, AND THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS.

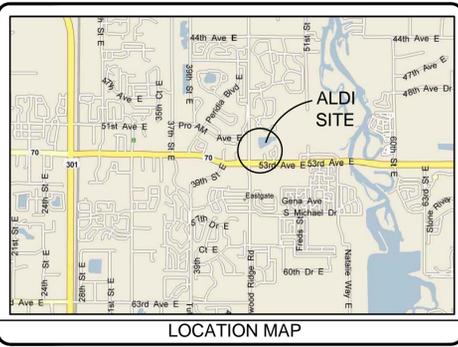
**TRAFFIC CONTROL DEVICES NOTES:**

TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THE LATEST EDITIONS OF THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS WITHIN PUBLICLY MAINTAINED RIGHT OF WAY WILL REQUIRE A SIGN AND HARDWARE DIAGRAM AND IF ACCEPTABLE, AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLANS.

**45th STREET EAST ROADWAY IMPROVEMENTS:**

ALL FUTURE 45th STREET E. ROADWAY IMPROVEMENTS SHALL BE ADDRESSED AND APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.

**PLANNED DEVELOPMENT COMMERCIAL REZONE / PRELIMINARY SITE PLAN ALDI-BRADENTON**



LOCATION MAP

**PROJECT DATA**

TOTAL PROJECT ACREAGE: +/- 3.87 ACRES (±168,768 SF)

EXISTING ZONING/FLU:  
 • PARCEL 1: GC/ROR  
 • PARCEL 2: A-1/ROR  
 • PARCEL 3: PR-M/ROR  
 • PARCEL 4: PR-M/ROR

PROPOSED ZONING: PCD  
 PROPOSED FLU: ROR  
 PROPOSED USE: 17,018 SF GROCERY STORE

PROJECT PHASING: THE PROJECT WILL NOT BE BUILT BY PHASES  
 MAX. ALLOWABLE F.A.R. = 0.35 IF MAX. SETBACKS ARE USED  
 PROPOSED F.A.R. = 0.10

MAX. ALLOWED BUILDING HEIGHT: 35'  
 PROPOSED BUILDING HEIGHT: 22'-6"

REQUIRED SETBACKS:  
 F - 30' (SR 70)  
 S - 35' (45th ST. EAST)  
 S - 15' (EAST)  
 R - 30' (NORTH-WATERFRONT)

PROPOSED SETBACKS:  
 F - 99.9' (SR 70)  
 S - 408.1' (45th ST. EAST)  
 S - 15.9' (EAST)  
 R - 109.4' (NORTH-WATERFRONT)

REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
 PROVIDED TOTAL OPEN SPACE: 45% (74,547 SF AS FOLLOWS)

- POND AREA: 19,750 SF
- LANDSCAPE BUFFERS: 11,950 SF
- WETLAND BUFFER: 17,850 SF
- VUA INTERNAL LANDSCAPE AREA: 1,967 SF
- BUILDING FOUNDATION LANDSCAPE AREA: 580 SF
- ADDITIONAL OPEN SPACE: 22,450 SF

**BUFFERS:**  
 FRONT (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE - 15/5' PLANTED BUFFER REQUIRED AND PROVIDED  
 REAR - 15' PLANTED BUFFER REQUIRED AND PROVIDED  
 WETLAND BUFFER - 30' NON-DISTURBED REQUIRED AND PROVIDED

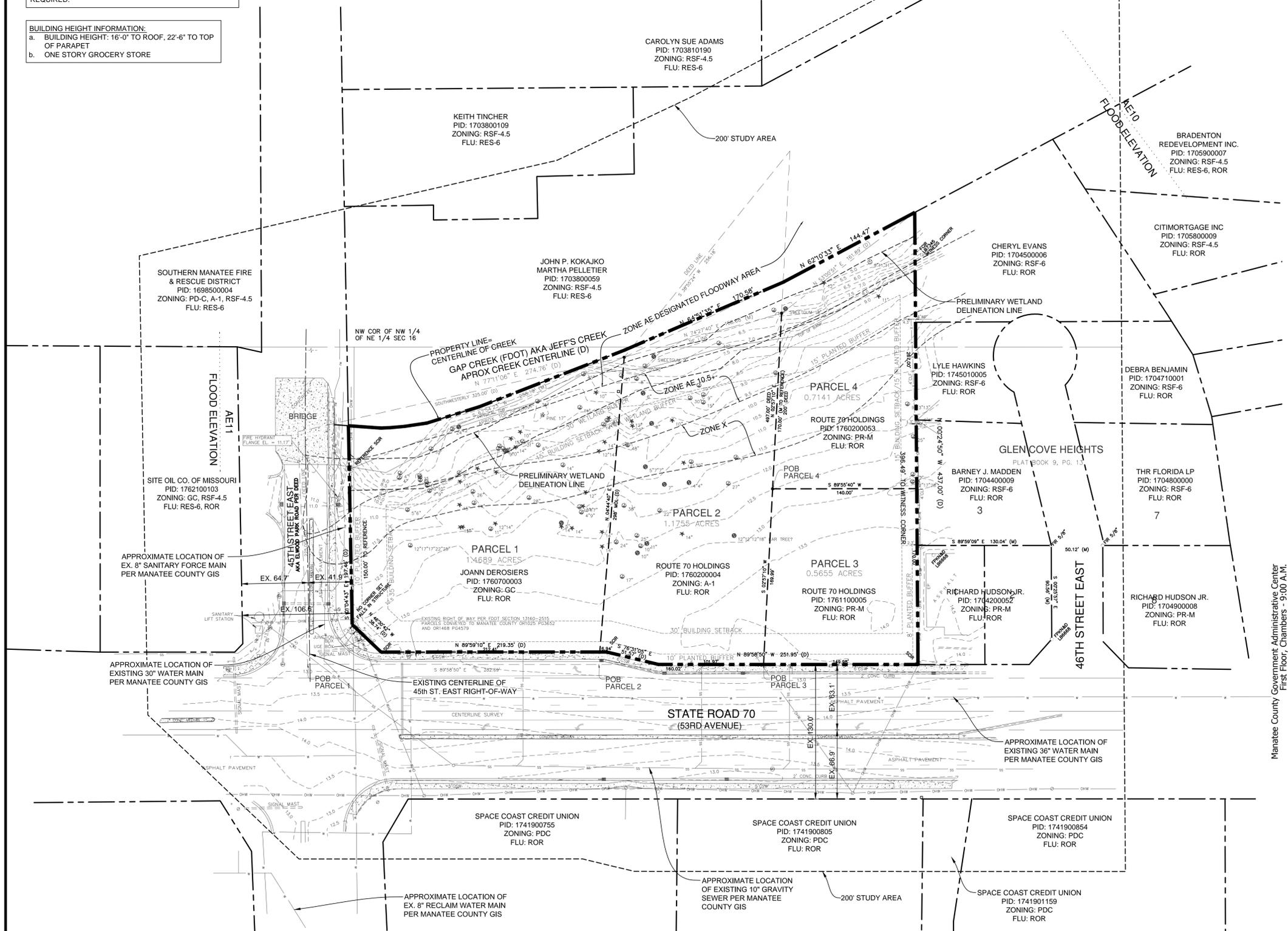
**DRAINAGE EASEMENTS:**  
 REQUIRED ALONG GAP CREEK  
 20' REQUIRED DRAINAGE-MAINTENANCE ACCESS EASEMENT FROM SOUTHERN TOP OF BANK

**PARKING AND LOADING REQUIREMENTS FOR PROPOSED USE:**

- REQUIRED PARKING: 1 SPACE/200 SF G.F.A. = 17,018/200 = 85 SPACES
- PROPOSED PARKING: 86 SPACES INCLUDING 4 HANDICAP SPACES
- STANDARD STALL DIMENSIONS: 9'X19' REQUIRED AND PROVIDED
- HANDICAP STALL DIMENSIONS: 12'X19' REQUIRED AND PROVIDED
- REQUIRED LOADING SPACE: 1 SPACE FOR THE FIRST 10,000 SF OF G.F.A. PLUS 1 SPACE FOR EACH ADDITIONAL 15,000 SF OR MAJOR FRACTION THEREOF = 17,018 G.F.A. REQUIRES 1 LOADING SPACE
- PROPOSED LOADING SPACE: 1 SPACE
- NOTE: PROPOSED LOADING SPACE EXCEEDS THE STANDARD LOADING SPACE DIMENSIONS OF 15'(W)X35'(L)X15'(H)
- REQUIRED BICYCLE PARKING SPACE: 1 SPACE PER 1,000 SF OF G.F.A. FOR THE FIRST 10,000 SF OF G.F.A. AND 1 SPACE FOR EACH 10,000 SF THEREAFTER = 17,018 G.F.A. REQUIRES 11 BICYCLE SPACES
- PROPOSED BICYCLE PARKING SPACES: 12 SPACES

**DEVELOPMENT DESCRIPTION**

- THE TOTAL AREA FOR THE SITE IS 43.87 ACRES AND THE PROPOSED LAND USE IS RETAIL/GROCERY. THE PROPOSED BUILDING IS APPROXIMATELY 17,000 SF AND EQUALS AN FAR OF 0.1. OTHER PROPOSED LAND USES INCLUDE A VEHICULAR USE AREA OF APPROXIMATELY 1.17 ACRES AND OPEN SPACE, INCLUDING THE STORMWATER POND, OF 1.74 ACRES EQUAL TO ABOUT 45% OF THE TOTAL SITE AREA.
- NO DWELLING UNITS ARE PROPOSED.
- THE PROPOSED FLOOR AREA RATIO IS 0.1.
- NO ADDITIONAL DENSITY OR FLOOR AREA IS BEING REQUESTED.
- THE APPROXIMATE START DATE FOR CONSTRUCTION IS XXXX AND THE APPROXIMATE END DATE IS XXXX.



Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.

Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	
Revisions:	Date:
1	
2	
3	
4	
5	

SCOTT K. STANNARD, P.E.  
 FL PE NO. 50565  
 PROJECT ENGINEER: SEAL  
 DATE

DRAWN BY:  
 CHECKED: DATE

**CSS**  
 Commercial Site Solutions, Inc.  
 ENGINEERING • LANDSCAPE ARCHITECTS  
 FL C.O.A. 27575

402 EAST IAST AVENUE  
 EASLEY, SC 29640  
 864-855-5200

21764 STATE ROAD 54  
 LUTZ, FL 33549  
 813-885-2032

**ALDI Inc.**  
 2651 State Road 17 South  
 Haines City, FL 33844  
 (863) 353-4919  
 (863) 353-4939 fax

Client Name

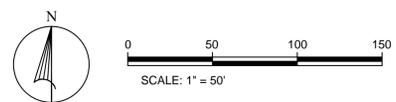
**PLANNED DEVELOPMENT COMMERCIAL REZONE / PRELIMINARY SITE PLAN ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
 MANATEE, FL

Project Name & Location

**EX. CONDITIONS PLAN PRELIMINARY**

Drawing Name:	Project No.
Date: 8/19/13	
Revised:	
Drawn By: sks	1 of 8
Scale: As Shown	Drawing No.



**SEASONAL HIGH-WATER TABLE:**  
 BASED ON THE GEOTECHNICAL EXPLORATION REPORT BY UNIVERSAL ENGINEERING SCIENCES, DATED MARCH 24, 2014 THE ESTIMATED SHWT IS ±3' BELOW EX. GRADE.

**FLOOD CERTIFICATION:**  
 BASED ON AN INSPECTION OF FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NO. 1201530334C, DATED 7-15-92, THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE AE 10.5 (ELEV 10.5 NAVD29 DATUM) = ELEV 9.6 ± NAVD88.

D-FIRM 12081C 0309E, EFFECTIVE 3-17-14, SHOWS NO CHANGE IN THE FLOOD ZONES, THE ONLY CHANGE IS THE DATUM TO 10.5 NAVD88.

**TRAFFIC CONTROL DEVICES NOTES:**  
 TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THE LATEST EDITIONS OF THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS WITHIN PUBLICLY MAINTAINED RIGHT OF WAY WILL REQUIRE A SIGN AND HARDWARE DIAGRAM AND, IF ACCEPTABLE, AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLANS.

**FLOODPLAIN/FLOODWAY NOTES:**

- PER MANATEE COUNTY, A NO-RISE PERMIT WILL BE REQUIRED FOR ALL ENCROACHMENT WITHIN THE FEMA 100-YEAR FLOODWAY OF GAP CREEK.
- ANY EXISTING OR PROPOSED STRUCTURES WITHIN THE 100-YEAR FLOODWAY SHALL BE MODELED.
- CONSTRUCTION WITHIN 50' OF THE 100-YEAR FLOODWAY WILL REQUIRE A LETTER OF MITIGATION SUBMITTED WITH THE BUILDING APPLICATION.

**SIGNING AND PAVEMENT MARKING NOTES:**  
 ALL SIGNING AND PAVEMENT MARKINGS WITHIN THE PROPERTY SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT DESIGN STANDARDS, AND THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS.

**45th STREET EAST ROADWAY IMPROVEMENTS:**  
 ALL FUTURE 45th STREET E. ROADWAY IMPROVEMENTS SHALL BE ADDRESSED AND APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.

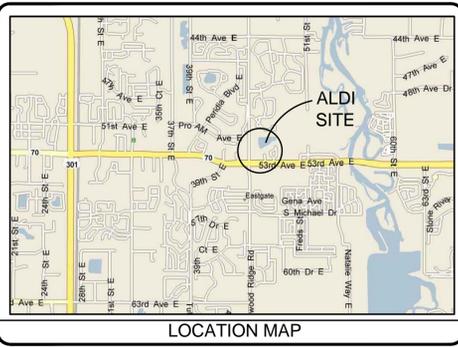
**UTILITY NOTES:**

- THE APPLICANT WILL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM.
- THE PROPOSED POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

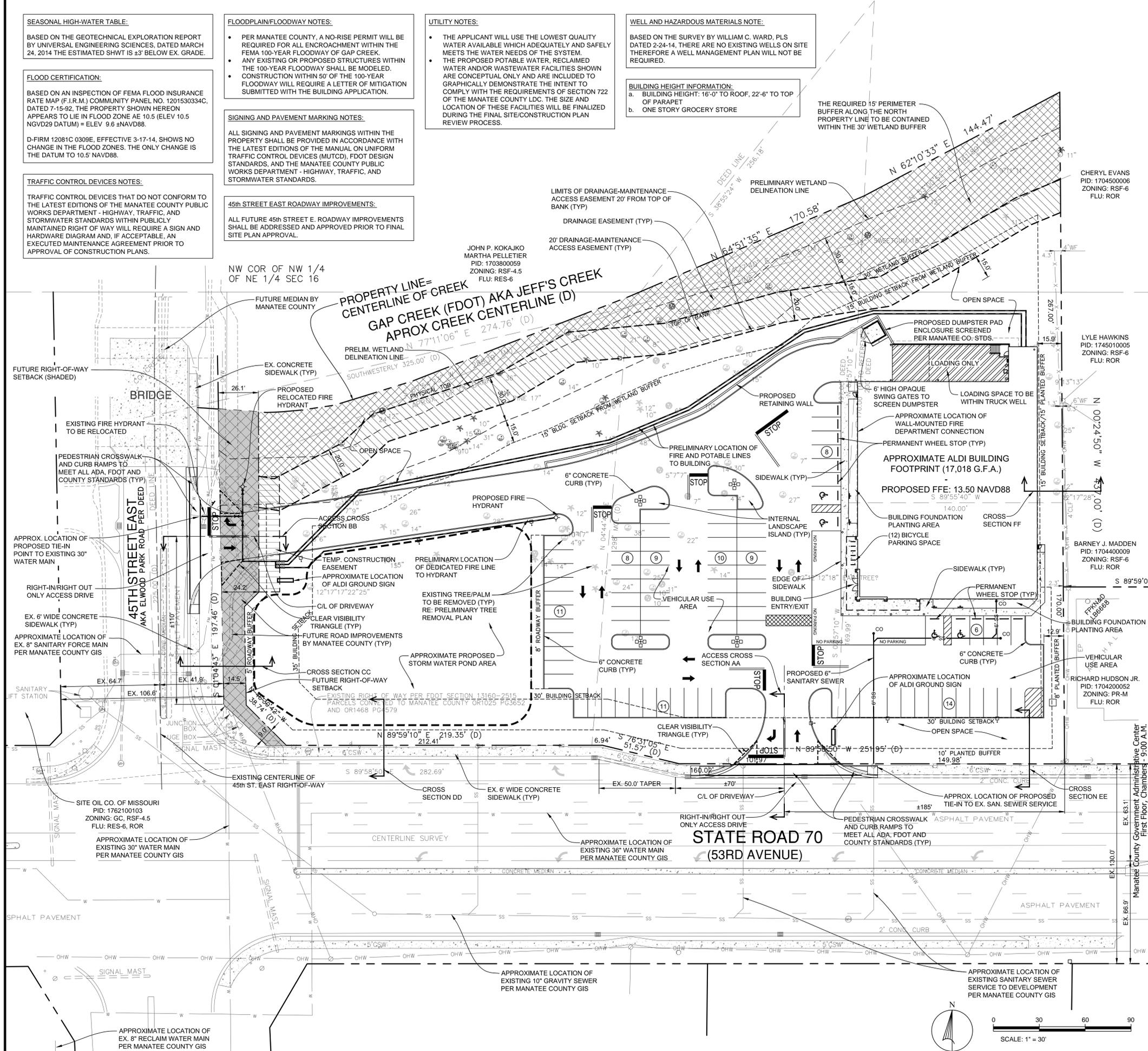
**WELL AND HAZARDOUS MATERIALS NOTE:**  
 BASED ON THE SURVEY BY WILLIAM C. WARD, PLS DATED 2-24-14, THERE ARE NO EXISTING WELLS ON SITE THEREFORE A WELL MANAGEMENT PLAN WILL NOT BE REQUIRED.

**BUILDING HEIGHT INFORMATION:**  
 a. BUILDING HEIGHT: 16'-0" TO ROOF, 22'-6" TO TOP OF PARAPET  
 b. ONE STORY GROCERY STORE

THE REQUIRED 15' PERIMETER BUFFER ALONG THE NORTH PROPERTY LINE TO BE CONTAINED WITHIN THE 30' WETLAND BUFFER



Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	
Revisions:	Date:
1	
2	
3	
4	
5	



**PROJECT DATA**

TOTAL PROJECT ACREAGE: +/- 3.87 ACRES (±168,768 SF)

EXISTING ZONING/FLU:  
 • PARCEL 1: GC/ROR  
 • PARCEL 2: A-1/ROR  
 • PARCEL 3: PR-M/ROR  
 • PARCEL 4: PR-M/ROR

PROPOSED ZONING: PCD  
 PROPOSED FLU: ROR  
 PROPOSED USE: 17,018 SF GROCERY STORE

PROJECT PHASING: THE PROJECT WILL NOT BE BUILT BY PHASES

MAX. ALLOWABLE F.A.R. = 0.35 IF MAX. SETBACKS ARE USED  
 PROPOSED F.A.R. = 0.10

MAX. ALLOWED BUILDING HEIGHT: 35'  
 PROPOSED BUILDING HEIGHT: 22'-6"

REQUIRED SETBACKS:  
 F - 30' (SR 70)  
 S - 35' (45th ST. EAST)  
 S - 15' (EAST)  
 R - 30' (NORTH-WATERFRONT)

PROPOSED SETBACKS:  
 F - 99.9' (SR 70)  
 S - 408.1' (45th ST. EAST)  
 S - 15.9' (EAST)  
 R - 109.4' (NORTH-WATERFRONT)

REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
 PROVIDED TOTAL OPEN SPACE: 45% (74,547 SF AS FOLLOWS)  
 • POND AREA: 19,750 SF  
 • LANDSCAPE BUFFERS: 11,950 SF  
 • WETLAND BUFFER: 17,850 SF  
 • VJA INTERNAL LANDSCAPE AREA: 1,967 SF  
 • BUILDING FOUNDATION LANDSCAPE AREA: 580 SF  
 • ADDITIONAL OPEN SPACE: 22,450 SF

BUFFERS:  
 FRONT (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE - 15/5' PLANTED BUFFER REQUIRED AND PROVIDED  
 REAR - 15' PLANTED BUFFER REQUIRED AND PROVIDED  
 WETLAND BUFFER - 30' NON-DISTURBED REQUIRED AND PROVIDED

DRAINAGE EASEMENTS:  
 REQUIRED ALONG GAP CREEK  
 20' REQUIRED DRAINAGE-MAINTENANCE ACCESS EASEMENT FROM SOUTHERN TOP OF BANK

PARKING AND LOADING REQUIREMENTS FOR PROPOSED USE:  
 • REQUIRED PARKING: 1 SPACE/200 SF G.F.A. = 17,018/200 = 85 SPACES  
 • PROPOSED PARKING: 86 SPACES INCLUDING 4 HANDICAP SPACES  
 • STANDARD STALL DIMENSIONS: 9'X19' REQUIRED AND PROVIDED  
 • HANDICAP STALL DIMENSIONS: 12'X19' REQUIRED AND PROVIDED  
 • REQUIRED LOADING SPACE: 1 SPACE FOR THE FIRST 10,000 SF OF G.F.A. PLUS 1 SPACE FOR EACH ADDITIONAL 15,000 SF OR MAJOR FRACTION THEREOF = 17,018 G.F.A. REQUIRES 1 LOADING SPACE  
 • PROPOSED LOADING SPACE: 1 SPACE  
 • NOTE: PROPOSED LOADING SPACE EXCEEDS THE STANDARD LOADING SPACE DIMENSIONS OF 15'(W)X35'(L)X15'(H)  
 • REQUIRED BICYCLE PARKING SPACE: 1 SPACE PER 1,000 SF OF G.F.A. FOR THE FIRST 10,000 SF OF G.F.A. AND 1 SPACE FOR EACH 10,000 SF THEREAFTER = 17,018 G.F.A. REQUIRES 11 BICYCLE SPACES  
 • PROPOSED BICYCLE PARKING SPACES: 12 SPACES

CHERYL EVANS  
 PID: 1704500006  
 ZONING: RSF-6  
 FLU: ROR

LYLE HAWKINS  
 PID: 17045010005  
 ZONING: RSF-6  
 FLU: ROR

BARNEY J. MADDEN  
 PID: 1704400009  
 ZONING: RSF-6  
 FLU: ROR

RICHARD HUDSON JR.  
 PID: 1704200052  
 ZONING: PR-M  
 FLU: ROR

**DEVELOPMENT DESCRIPTION**

A. THE TOTAL AREA FOR THE SITE IS ±3.87 ACRES AND THE PROPOSED LAND USE IS RETAIL/GROCERY. THE PROPOSED BUILDING IS APPROXIMATELY 17,000 SF AND EQUALS AN FAR OF 0.1. OTHER PROPOSED LAND USES INCLUDE A VEHICULAR USE AREA OF APPROXIMATELY 1.17 ACRES AND OPEN SPACE, INCLUDING THE STORMWATER POND, OF 1.74 ACRES EQUAL TO ABOUT 45% OF THE TOTAL SITE AREA.

B. NO DWELLING UNITS ARE PROPOSED.

C. THE PROPOSED FLOOR AREA RATIO IS 0.1.

D. NO ADDITIONAL DENSITY OR FLOOR AREA IS BEING REQUESTED.

E. THE APPROXIMATE START DATE FOR CONSTRUCTION IS XXXX AND THE APPROXIMATE END DATE IS XXXX.

**REQUIRED EASEMENTS**

DRAINAGE  
 • DRAINAGE EASEMENT REQUIRED ALONG GAP CREEK WITHIN PROJECT BOUNDARIES  
 • 20' DRAINAGE-MAINTENANCE ACCESS EASEMENT REQUIRED FROM SOUTHERN TOP OF BANK

DRAINAGE EASEMENT SYMBOL

20' DRAINAGE-MAINTENANCE ACCESS EASEMENT SYMBOL

TEMPORARY CONSTRUCTION EASEMENT SYMBOL

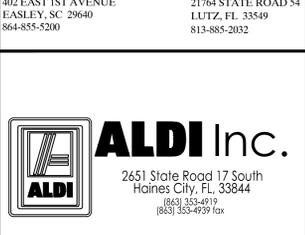
SCOTT K. STANNARD, P.E.  
 FL PE NO. 50665  
 PROJECT ENGINEER:

SEAL  
 DATE

DRAWN BY:

CHECKED:

DATE



Client Name

**PLANNED DEVELOPMENT  
 COMMERCIAL REZONE/  
 PRELIMINARY SITE PLAN  
 ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
 MANATEE, FL

Project Name & Location

**PRELIMINARY  
 SITE PLAN**

Drawing Name:

Date: 8/19/13

Revised:

Drawn By: sks

Scale: As Shown

Project No.

2 of 8

Drawing No.



**SEASONAL HIGH-WATER TABLE:**  
 BASED ON THE GEOTECHNICAL EXPLORATION REPORT BY UNIVERSAL ENGINEERING SCIENCES, DATED MARCH 24, 2014 THE ESTIMATED SHWT IS ±3' BELOW EX. GRADE.

**FLOOD CERTIFICATION:**  
 BASED ON AN INSPECTION OF FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NO. 1201530334C, DATED 7-15-92, THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE AE 10.5 (ELEV 10.5 NAVD29 DATUM) = ELEV 9.6 NAVD88.

D-FIRM 12081C 0309E, EFFECTIVE 3-17-14, SHOWS NO CHANGE IN THE FLOOD ZONES, THE ONLY CHANGE IS THE DATUM TO 10.5 NAVD88.

**TRAFFIC CONTROL DEVICES NOTES:**  
 TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THE LATEST EDITIONS OF THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS WITHIN PUBLICLY MAINTAINED RIGHT OF WAY WILL REQUIRE A SIGN AND HARDWARE DIAGRAM AND, IF ACCEPTABLE, AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLANS.

**FLOODPLAIN/FLOODWAY NOTES:**

- PER MANATEE COUNTY, A NO-RISE PERMIT WILL BE REQUIRED FOR ALL ENCROACHMENT WITHIN THE FEMA 100-YEAR FLOODWAY OF GAP CREEK.
- ANY EXISTING OR PROPOSED STRUCTURES WITHIN THE 100-YEAR FLOODWAY SHALL BE MODELED.
- CONSTRUCTION WITHIN 50' OF THE 100-YEAR FLOODWAY WILL REQUIRE A LETTER OF MITIGATION SUBMITTED WITH THE BUILDING APPLICATION.

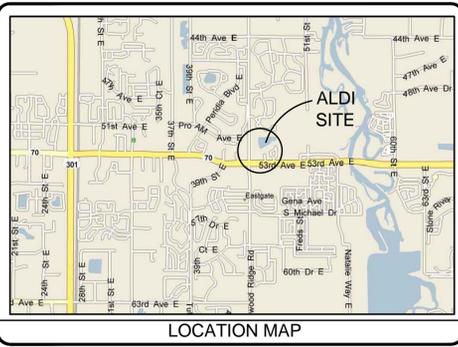
**SIGNING AND PAVEMENT MARKING NOTES:**  
 ALL SIGNING AND PAVEMENT MARKINGS WITHIN THE PROPERTY SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT DESIGN STANDARDS, AND THE MANATEE COUNTY PUBLIC WORKS DEPARTMENT - HIGHWAY, TRAFFIC, AND STORMWATER STANDARDS.

**UTILITY NOTES:**

- THE APPLICANT WILL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM.
- THE PROPOSED POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER FACILITIES SHOWN ARE CONCEPTUAL ONLY AND ARE INCLUDED TO GRAPHICALLY DEMONSTRATE THE INTENT TO COMPLY WITH THE REQUIREMENTS OF SECTION 722 OF THE MANATEE COUNTY LDC. THE SIZE AND LOCATION OF THESE FACILITIES WILL BE FINALIZED DURING THE FINAL SITE/CONSTRUCTION PLAN REVIEW PROCESS.

**45th STREET EAST ROADWAY IMPROVEMENTS:**  
 ALL FUTURE 45th STREET E. ROADWAY IMPROVEMENTS SHALL BE ADDRESSED AND APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.

**BUILDING HEIGHT INFORMATION:**  
 a. BUILDING HEIGHT: 16'-0" TO ROOF, 22'-6" TO TOP OF PARAPET  
 b. ONE STORY GROCERY STORE



Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	
Revisions:	Date:
1	
2	
3	
4	
5	

**PROJECT DATA**

TOTAL PROJECT ACREAGE: +/- 3.87 ACRES (±168,768 SF)

EXISTING ZONING/FLU:  
 • PARCEL 1: GC/ROR  
 • PARCEL 2: A-1/ROR  
 • PARCEL 3: PR-M/ROR  
 • PARCEL 4: PR-M/ROR

PROPOSED ZONING: PCD  
 PROPOSED FLU: ROR  
 PROPOSED USE: 17,018 SF GROCERY STORE

PROJECT PHASING: THE PROJECT WILL NOT BE BUILT BY PHASES

MAX. ALLOWABLE F.A.R. = 0.35 IF MAX. SETBACKS ARE USED  
 PROPOSED F.A.R. = 0.10

MAX. ALLOWED BUILDING HEIGHT: 35'  
 PROPOSED BUILDING HEIGHT: 22'-6"

REQUIRED SETBACKS:  
 F - 30' (SR 70)  
 S - 35' (45th ST. EAST)  
 S - 15' (EAST)  
 R - 30' (NORTH-WATERFRONT)

PROPOSED SETBACKS:  
 F - 99.9' (SR 70)  
 S - 408.1' (45th ST. EAST)  
 S - 15.9' (EAST)  
 R - 109.4' (NORTH-WATERFRONT)

REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
 PROVIDED TOTAL OPEN SPACE: 45% (74,547 SF AS FOLLOWS)

- POND AREA: 19,750 SF
- LANDSCAPE BUFFERS: 11,950 SF
- WETLAND BUFFER: 17,850 SF
- VIA INTERNAL LANDSCAPE AREA: 1,967 SF
- BUILDING FOUNDATION LANDSCAPE AREA: 580 SF
- ADDITIONAL OPEN SPACE: 22,450 SF

BUFFERS:  
 FRONT (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE - 15/5' PLANTED BUFFER REQUIRED AND PROVIDED  
 REAR - 15' PLANTED BUFFER REQUIRED AND PROVIDED  
 WETLAND BUFFER - 30' NON-DISTURBED REQUIRED AND PROVIDED

DRAINAGE EASEMENTS:  
 REQUIRED ALONG GAP CREEK  
 20' REQUIRED DRAINAGE-MAINTENANCE ACCESS EASEMENT FROM SOUTHERN TOP OF BANK

PARKING AND LOADING REQUIREMENTS FOR PROPOSED USE:

- REQUIRED PARKING: 1 SPACE/200 SF G.F.A. = 17,018/200 = 85 SPACES
- PROPOSED PARKING: 86 SPACES INCLUDING 4 HANDICAP SPACES
- STANDARD STALL DIMENSIONS: 9'X19' REQUIRED AND PROVIDED
- HANDICAP STALL DIMENSIONS: 12'X19' REQUIRED AND PROVIDED
- REQUIRED LOADING SPACE: 1 SPACE FOR THE FIRST 10,000 SF OF G.F.A. PLUS 1 SPACE FOR EACH ADDITIONAL 15,000 SF OR MAJOR FRACTION THEREOF = 17,018 G.F.A. REQUIRES 1 LOADING SPACE
- PROPOSED LOADING SPACE: 1 SPACE
- NOTE: PROPOSED LOADING SPACE EXCEEDS THE STANDARD LOADING SPACE DIMENSIONS OF 15'(W)X35'(L)X15'(H)
- REQUIRED BICYCLE PARKING SPACE: 1 SPACE PER 1,000 SF OF G.F.A. FOR THE FIRST 10,000 SF OF G.F.A. AND 1 SPACE FOR EACH 10,000 SF THEREAFTER = 17,018 G.F.A. REQUIRES 11 BICYCLE SPACES
- PROPOSED BICYCLE PARKING SPACES: 12 SPACES

SCOTT K. STANNARD, P.E.  
 FL PE NO. 50565  
 PROJECT ENGINEER: SEAL DATE

DRAWN BY:  
 CHECKED: DATE

**CSS**  
 Commercial Site Solutions, Inc.  
 ENGINEERING • LANDSCAPE ARCHITECTS  
 FL. CO. 27575

402 EAST 1ST AVENUE  
 EASLEY, SC 29640  
 864-855-5200

21764 STATE ROAD 54  
 LUTZ, FL 33549  
 813-885-2032

**ALDI Inc.**  
 2651 State Road 17 South  
 Hoines City, FL 33844  
 (863) 353-4919  
 (863) 353-4939 fax

Client Name

**PLANNED DEVELOPMENT  
 COMMERCIAL REZONE/  
 PRELIMINARY SITE PLAN  
 ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
 MANATEE, FL

Project Name & Location

**PRELIM. SITE PLAN  
 FLOODPLAIN  
 EXHIBIT**

Drawing Name: Project No.

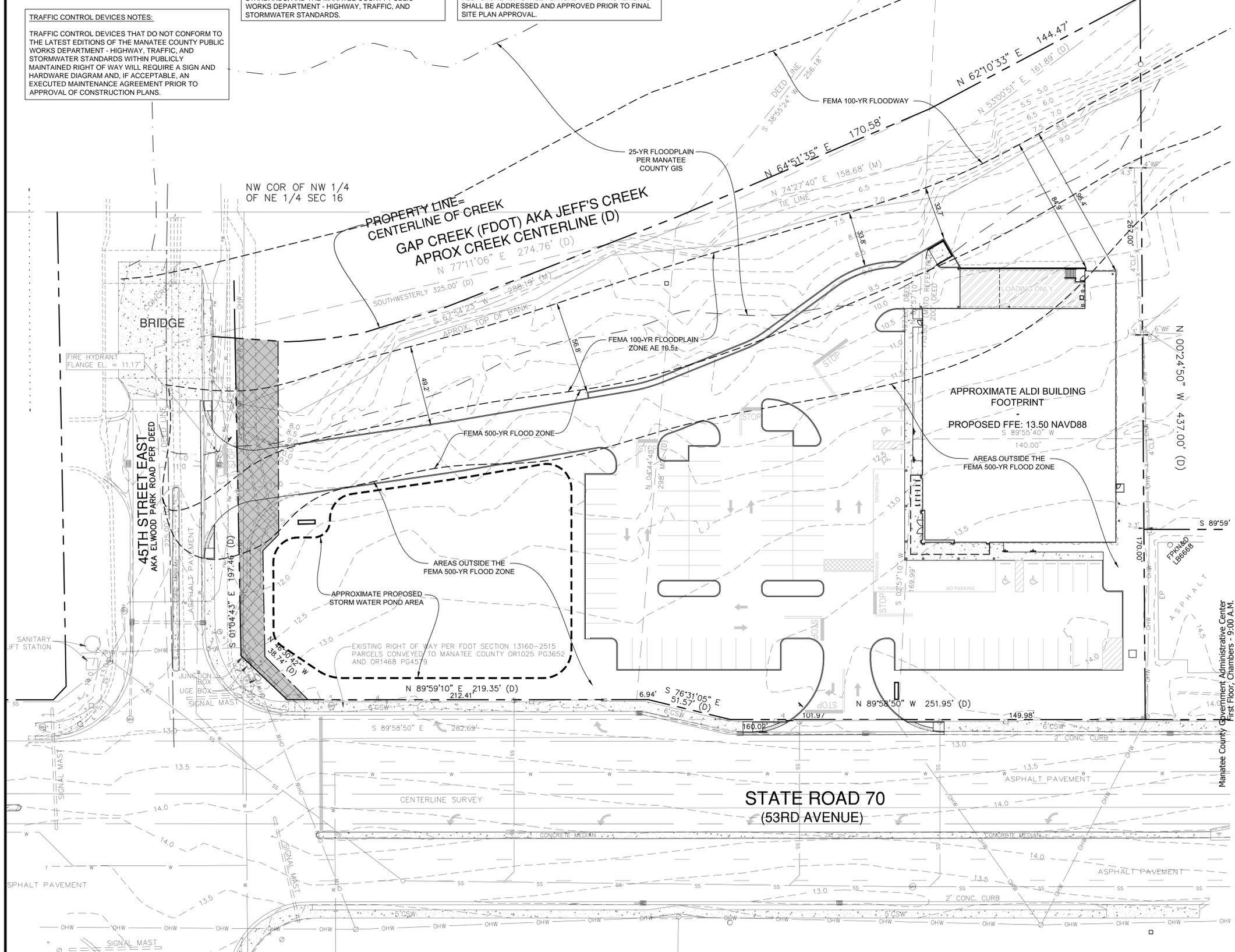
Date: 8/19/13

Revised:

Drawn By: sks

Scale: As Shown

4 of 8  
 Drawing No.



**DEVELOPMENT DESCRIPTION**

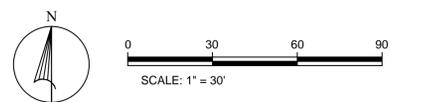
A. THE TOTAL AREA FOR THE SITE IS 3.87 ACRES AND THE PROPOSED LAND USE IS RETAIL GROCERY. THE PROPOSED BUILDING IS APPROXIMATELY 17,018 SF AND EQUALS AN FAR OF 0.1. OTHER PROPOSED LAND USES INCLUDE A VEHICULAR USE AREA OF APPROXIMATELY 1.17 ACRES AND OPEN SPACE, INCLUDING THE STORMWATER POND, OF 1.74 ACRES EQUAL TO ABOUT 45% OF THE TOTAL SITE AREA.

B. NO DWELLING UNITS ARE PROPOSED.

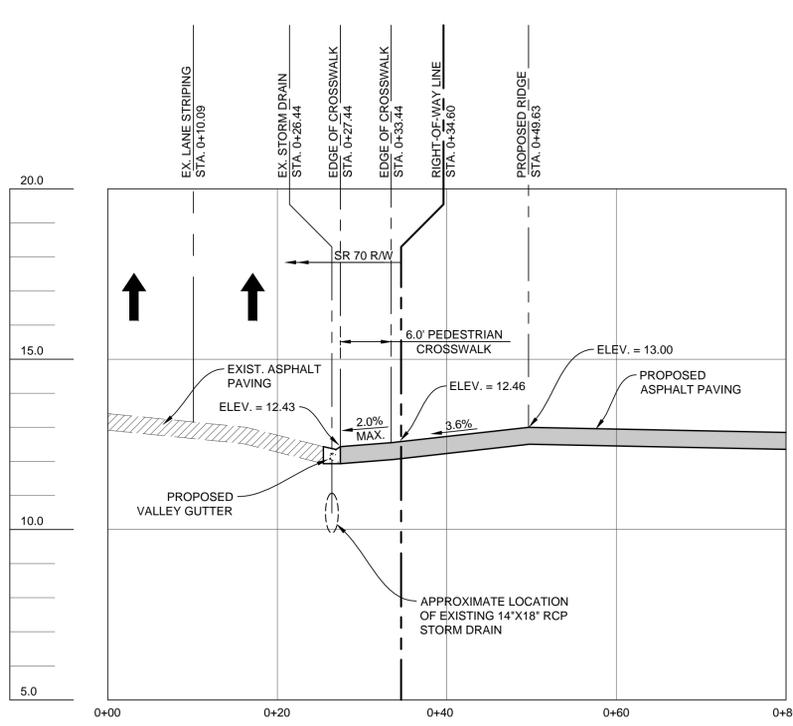
C. THE PROPOSED FLOOR AREA RATIO IS 0.1.

D. NO ADDITIONAL DENSITY OR FLOOR AREA IS BEING REQUESTED.

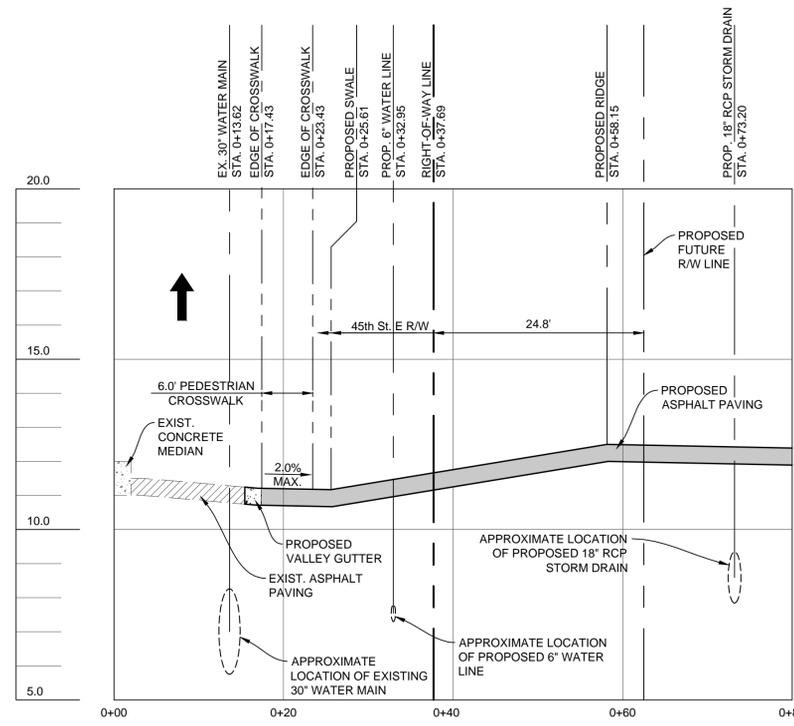
E. THE APPROXIMATE START DATE FOR CONSTRUCTION IS XXXX AND THE APPROXIMATE END DATE IS XXXX.



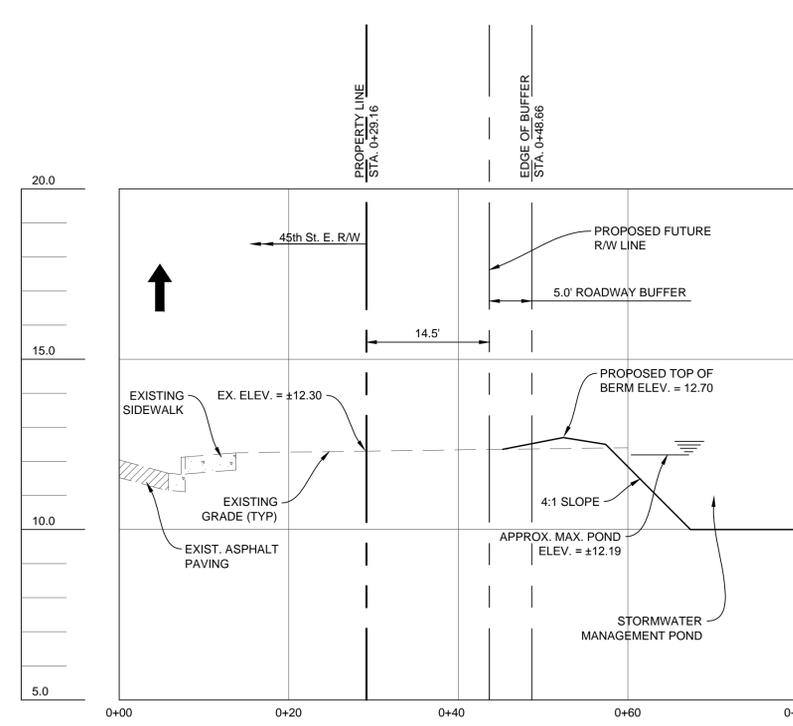
Manatee County Government Administrative Center  
 First Floor, Chambers - 9:00 A.M.



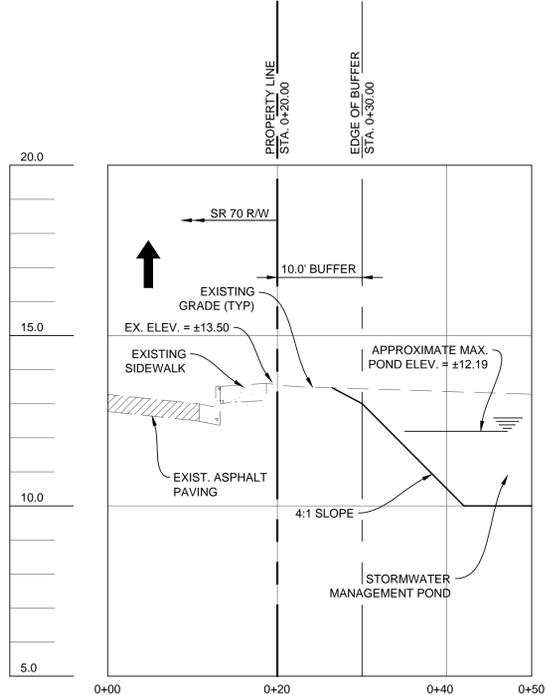
**SECTION AA**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.



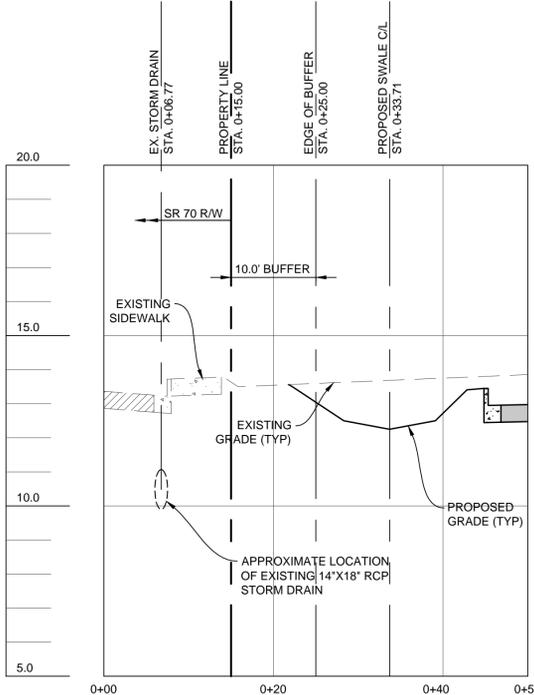
**SECTION BB**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.



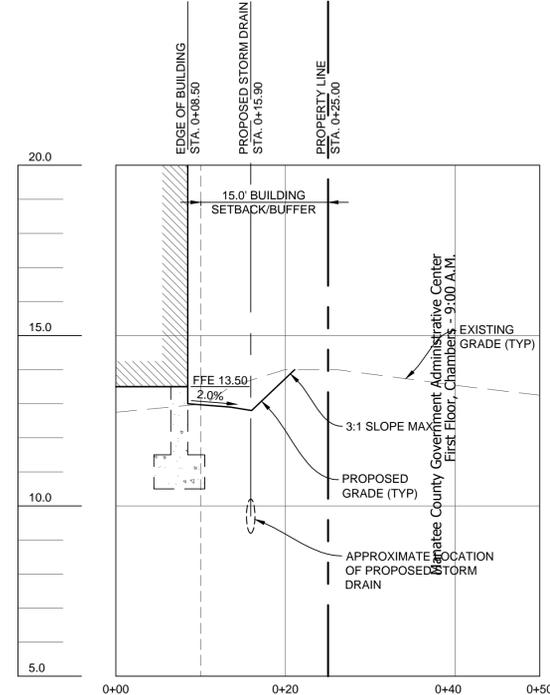
**SECTION CC**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.



**SECTION DD**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.



**SECTION EE**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.



**SECTION FF**  
SCALE: 1" = 10' HORIZ.  
1" = 2.5' VERT.

Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	
Revisions:	Date:
1	
2	
3	
4	
5	

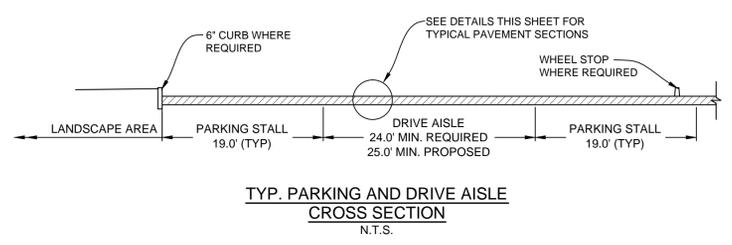
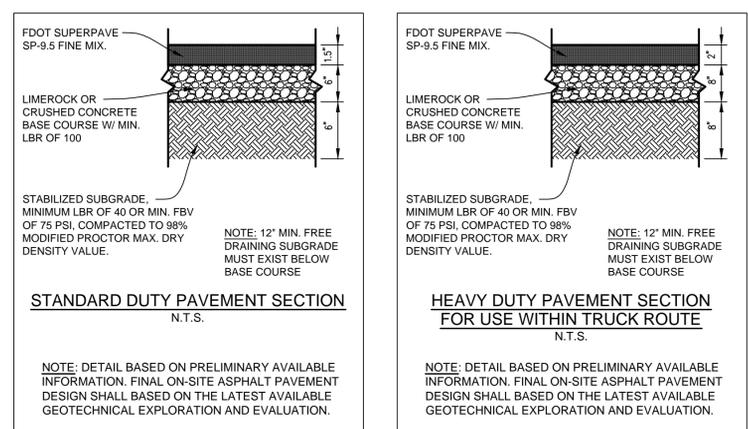
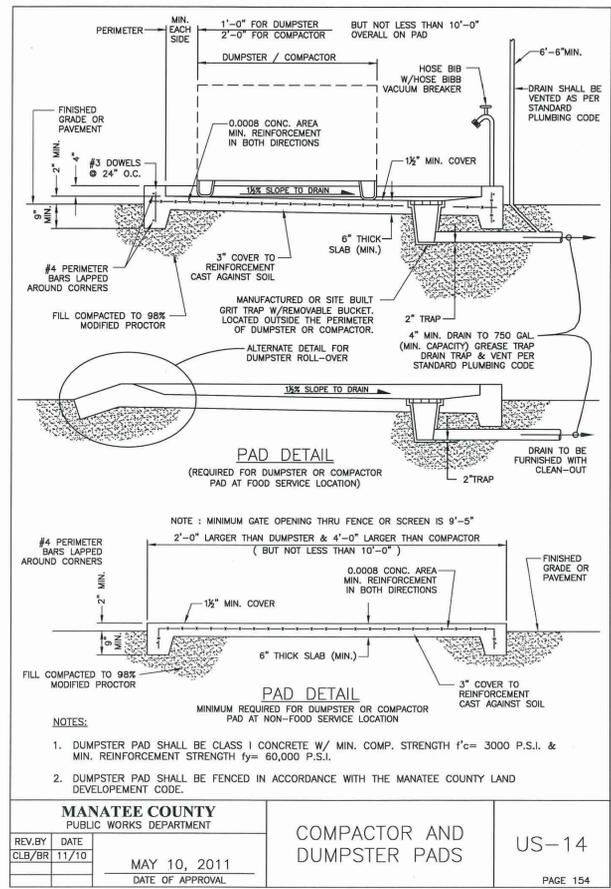
SCOTT K. STANNARD, P.E.  
FL PE NO. 50565  
PROJECT ENGINEER:  
DRAWN BY:  
CHECKED:

**CSS**  
Commercial Site Solutions, Inc.  
ENGINEERING • LANDSCAPE ARCHITECTS  
FL C.O.A. 27575  
402 EAST 1ST AVENUE  
EASLEY, SC 29640  
864-855-5200  
21764 STATE ROAD 54  
LUTZ, FL 33549  
813-885-2032

**ALDI Inc.**  
2651 State Road 17 South  
Haines City, FL 33844  
(888) 333-4719  
(888) 333-4739 fax

Client Name  
**PLANNED DEVELOPMENT  
COMMERCIAL REZONE /  
PRELIMINARY SITE PLAN  
ALDI-BRADENTON**  
STATE ROUTE 70 AT 45TH STREET E.  
MANATEE, FL

Project Name & Location  
**PRELIMINARY  
CROSS SECTIONS**  
Drawing Name:  
Date: 8/19/13  
Revised:  
Drawn By: sks  
Scale: As Shown  
Project No.  
**5 of 8**  
Drawing No.



Manatee County Government Administrative Center  
First Floor, Chambers - 9:00 A.M.

Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	

Revisions:	Date:
1	
2	
3	
4	
5	

SCOTT K. STANNARD, P.E.  
FL PE NO. 50565  
PROJECT ENGINEER: SEAL  
DATE

DRAWN BY:  
CHECKED: DATE

**CSS**  
Commercial Site Solutions, Inc.  
ENGINEERING • LANDSCAPE ARCHITECTS  
FL C.O.A. 27575

402 EAST 1ST AVENUE  
EASLEY, SC 29640  
864-855-5200

21764 STATE ROAD 54  
LUTZ, FL 33549  
813-885-2032

**ALDI Inc.**  
2651 State Road 17 South  
Haines City, FL 33844  
(888) 333-4219  
(888) 333-4239 fax

Client Name

**PLANNED DEVELOPMENT  
COMMERCIAL REZONE /  
PRELIMINARY SITE PLAN  
ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
MANATEE, FL

Project Name & Location

**PRELIMINARY  
SITE DETAILS**

Drawing Name: Project No.

Date: 8/19/13

Revised:

Drawn By: sks

Scale: As Shown

6 of 8  
Drawing No.

Page 12 of 204

**TREE REMOVAL LIST**

No.	DBH SIZE	DESCRIPTION
1	5', 6"	OAK CLUSTER
2	12", 17", 17", 22", 25"	OAK CLUSTER
3	11"	OAK
4	10", 10"	OAK CLUSTER
5	7", 9"	OAK CLUSTER
6	15"	OAK
7	10' CLEAR TRUNK OR LARGER	PALM
8	28"	OAK
9	10' CLEAR TRUNK OR LARGER	PALM
10	14"	OAK
11	10' CLEAR TRUNK OR LARGER	PALM
12	10' CLEAR TRUNK OR LARGER	PALM
13	10' CLEAR TRUNK OR LARGER	PALM
14	(2) 10' CLEAR TRUNK OR LARGER	PALM CLUSTER
15	11"	OAK
16	28"	OAK
17	14"	OAK
18	10' CLEAR TRUNK OR LARGER	PALM
19	10", 17"	OAK CLUSTER
20	10' CLEAR TRUNK OR LARGER	PALM
21	4", 9"	OAK CLUSTER
22	5"	NUISANCE
23	10' CLEAR TRUNK OR LARGER	PALM
24	10' CLEAR TRUNK OR LARGER	PALM
25	(2) 10' CLEAR TRUNK OR LARGER	PALM CLUSTER
26	10' CLEAR TRUNK OR LARGER	PALM
27	10' CLEAR TRUNK OR LARGER	PALM
28	24"	OAK
29	48"	OAK
30	38"	OAK
31	25"	OAK
32	10"	OAK
33	10"	NUISANCE

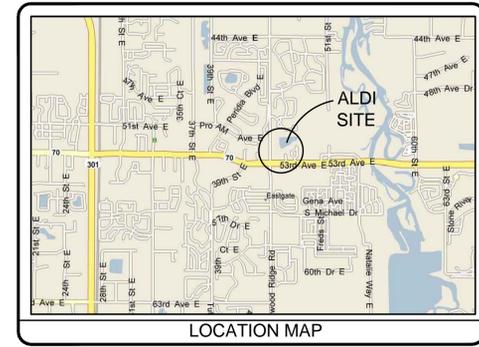
NOTE:  
ALL NUISANCE, EXOTIC OR UNPROTECTED SPECIES (I.E. EAR TREE, BRAZILIAN PEPPER, ETC.) AS IDENTIFIED IN THE LDC SHALL NOT BE SUBJECT TO REPLACEMENT.

**TREE PRESERVATION LIST**

No.	DBH SIZE	DESCRIPTION
A	10"	OAK
B	24"	OAK
C	12"	NUISANCE
D	5"	OAK
E	14"	OAK
F	6"	OAK
G	9"	OAK
H	10"	OAK
I	10' CLEAR TRUNK OR LARGER	PALM
J	10' CLEAR TRUNK OR LARGER	PALM
K	10' CLEAR TRUNK OR LARGER	PALM
L	31"	OAK
M	6"	OAK
N	36"	OAK
O	45"	OAK
P	10' CLEAR TRUNK OR LARGER	PALM
Q	14"	OAK
R	4"	OAK
S	16"	OAK
T	10' CLEAR TRUNK OR LARGER	PALM
V	21"	OAK
W	8"	OAK
X	10", 12"	OAK CLUSTER
Y	9"	SWEETGUM
Z	40"	OAK
AA	12"	OAK
BB	18"	SWEETGUM
CC	10' CLEAR TRUNK OR LARGER	PALM
DD	9", 11", 11"	MAPLE CLUSTER

**TREE IMPACT CALCULATIONS**

No.	DBH SIZE	DESCRIPTION	DRIP LINE AREA	IMPACT AREA	% IMPACT AREA
L	31"	OAK	3,019 SQ.FT.	370 SQ.FT.	12.2%
R	14"	PALM	N/A	N/A	N/A
Z	40"	OAK	682 SQ.FT.	682 SQ.FT.	13.5%
DD	9", 11", 11"	MAPLE CLUSTER	3,019 SQ.FT.	60 SQ.FT.	2.0%



**TREE REPLACEMENT CALCULATIONS**

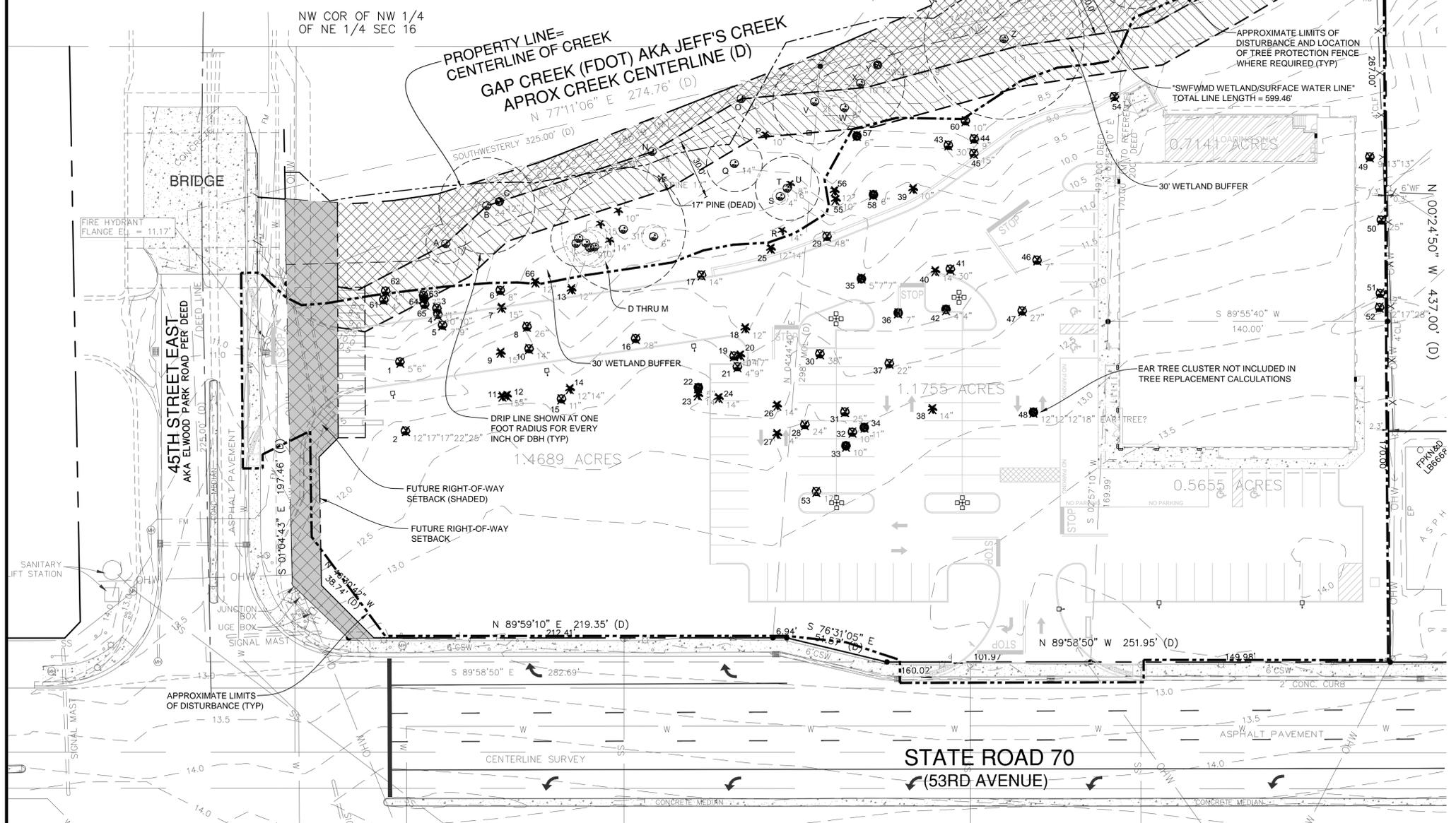
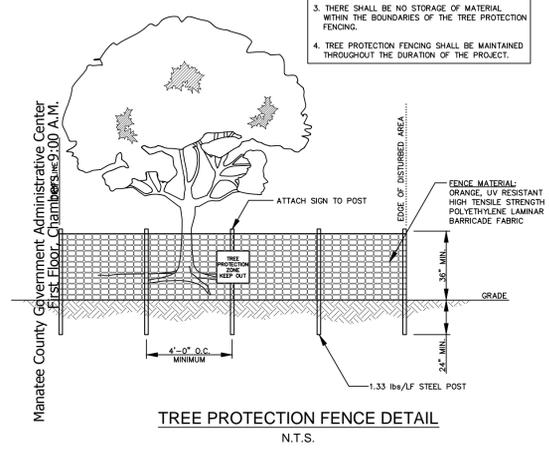
DBH SIZE	NUMBER OF TREES PROPOSED FOR REMOVAL	REQUIRED NUMBER OF REPLACEMENT TREES
4" - 15"	31 TREES AND 22 PALMS	42 TREES - 3" CALIPER MINIMUM
16" - 30"	18 TREES	36 TREES - 4" CALIPER MINIMUM
OVER 30"	2 TREES	6 TREES - 4" CALIPER MINIMUM

NOTES:  
• APPLICANT REQUESTS SPECIFIC APPROVAL BE GRANTED TO ALLOW SMALLER REPLACEMENT TREE SIZES OF 3/4" IN LIEU OF 3/5" - ALTERNATIVE TO SECTION 714.8.7 OF THE LDC.  
• CASH PAYMENT TO THE MANATEE COUNTY TREE PROTECTION TRUST FUND MAY BE MADE IN LIEU OF TREE REPLACEMENT.

**REQUIRED EASEMENTS**

- DRAINAGE**
- DRAINAGE EASEMENT REQUIRED ALONG GAP CREEK WITHIN PROJECT BOUNDARIES
  - 20' DRAINAGE-MAINTENANCE ACCESS EASEMENT REQUIRED FROM SOUTHERN TOP OF BANK
- DRAINAGE EASEMENT SYMBOL**
- 20' DRAINAGE-MAINTENANCE ACCESS EASEMENT SYMBOL**
- TEMPORARY CONSTRUCTION EASEMENT SYMBOL**

- NOTES:
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
  2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  3. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE. KEEP OUT."
  4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.



Issued: \_\_\_\_\_ Date: \_\_\_\_\_

A	REZONE/PSP APPLICATION	10/3/14
B	REZONE/PSP RESUBMITTAL	12/2/14
C		
D		

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

1		
2		
3		
4		
5		

SCOTT K. STANNARD, P.E.  
FL PE NO. 50565

PROJECT ENGINEER: \_\_\_\_\_ SEAL \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED: \_\_\_\_\_ DATE \_\_\_\_\_

402 EAST IAST AVENUE  
EASLEY, SC 29640  
864-855-5200

21764 STATE ROAD 54  
LUTZ, FL 33549  
813-885-2032

2651 State Road 17 South  
Haines City, FL 33844  
(888) 333-4919  
(888) 333-4939 fax

Client Name

**PLANNED DEVELOPMENT  
COMMERCIAL REZONE/  
PRELIMINARY SITE PLAN  
ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
MANATEE, FL

Project Name & Location

**PRELIMINARY  
TREE REMOVAL  
PLAN**

Drawing Name: \_\_\_\_\_

Date: 8/19/13

Revised: \_\_\_\_\_

Drawn By: sks

Scale: As Shown

Project No. \_\_\_\_\_

7 of 8

Drawing No. \_\_\_\_\_

**PROJECT DATA**

TOTAL PROJECT ACREAGE: +/- 3.87 ACRES (±168,768 SF)

EXISTING ZONING/FLU:  
 • PARCEL 1: GC/ROR  
 • PARCEL 2: A-1/ROR  
 • PARCEL 3: PR-M/ROR  
 • PARCEL 4: PR-M/ROR

PROPOSED ZONING: PCD  
 PROPOSED FLU: ROR  
 PROPOSED USE: 17,018 SF GROCERY STORE

PROJECT PHASING: THE PROJECT WILL NOT BE BUILT BY PHASES

MAX. ALLOWABLE F.A.R. = 0.35 IF MAX. SETBACKS ARE USED  
 PROPOSED F.A.R. = 0.10

MAX. ALLOWED BUILDING HEIGHT: 35'  
 PROPOSED BUILDING HEIGHT: 22'-6"

REQUIRED SETBACKS:  
 F - 30' (SR 70)  
 S - 35' (45th ST. EAST)  
 S - 15' (EAST)  
 R - 30' (NORTH-WATERFRONT)

PROPOSED SETBACKS:  
 F - 99.9' (SR 70)  
 S - 408.1' (45th ST. EAST)  
 S - 15.9' (EAST)  
 R - 109.4' (NORTH-WATERFRONT)

REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
 PROVIDED TOTAL OPEN SPACE: 45% (74,547 SF AS FOLLOWS)

- POND AREA: 19,750 SF
- LANDSCAPE BUFFERS: 11,950 SF
- WETLAND BUFFER: 17,850 SF
- VUA INTERNAL LANDSCAPE AREA: 1,967 SF
- BUILDING FOUNDATION LANDSCAPE AREA: 580 SF
- ADDITIONAL OPEN SPACE: 22,450 SF

**BUFFERS:**  
 FRONT (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE (ROAD) - 10' PLANTED BUFFER REQUIRED AND PROVIDED  
 SIDE - 15/15' PLANTED BUFFER REQUIRED AND PROVIDED  
 REAR - 15' PLANTED BUFFER REQUIRED AND PROVIDED  
 WETLAND BUFFER - 30' NON-DISTURBED REQUIRED AND PROVIDED

**DRAINAGE EASEMENTS:**  
 REQUIRED ALONG GAP CREEK  
 20' REQUIRED DRAINAGE-MAINTENANCE ACCESS EASEMENT FROM SOUTHERN TOP OF BANK

**PARKING AND LOADING REQUIREMENTS FOR PROPOSED USE:**

- REQUIRED PARKING: 1 SPACE/200 SF G.F.A. = 17,018/200 = 85 SPACES
- PROPOSED PARKING: 86 SPACES INCLUDING 4 HANDICAP SPACES
- STANDARD STALL DIMENSIONS: 9'X19' REQUIRED AND PROVIDED
- HANDICAP STALL DIMENSIONS: 12'X19' REQUIRED AND PROVIDED
- REQUIRED LOADING SPACE: 1 SPACE FOR THE FIRST 10,000 SF OF G.F.A. PLUS 1 SPACE FOR EACH ADDITIONAL 15,000 SF OR MAJOR FRACTION THEREOF = 17,018 G.F.A. REQUIRES 1 LOADING SPACE
- PROPOSED LOADING SPACE: 1 SPACE
- NOTE: PROPOSED LOADING SPACE EXCEEDS THE STANDARD LOADING SPACE DIMENSIONS OF 15'(W)X35'(L)X15'(H)
- REQUIRED BICYCLE PARKING SPACE: 1 SPACE PER 1,000 SF OF G.F.A. FOR THE FIRST 10,000 SF OF G.F.A. AND 1 SPACE FOR EACH 10,000 SF THEREAFTER = 17,018 G.F.A. REQUIRES 11 BICYCLE SPACES
- PROPOSED BICYCLE PARKING SPACES: 12 SPACES

**TREE REPLACEMENT NOTE:**

TREE REPLACEMENT SHALL BE IN COMPLIANCE WITH SECTION 714.8.7 OF THE LDC. FINAL TREE REPLACEMENT CALCULATIONS SHALL BE VERIFIED AT THE FINAL SITE PLAN STAGE PER MANATEE COUNTY STAFF.

**SITE LIGHTING NOTES**

- LIGHT FIXTURE LOCATION AS DEPICTED IS PRELIMINARY AND WILL BE REVIEWED AT THE FINAL SITE PLAN STAGE.
- ALL REQUIRED TREES SHALL HAVE 10' MIN. SEPARATION FROM LIGHT POLES WITH THE EXCEPTION OF LIVE OAK WHICH SHALL HAVE 15' MIN. SEPARATION.

**IRRIGATION NOTE:**

IRRIGATION FOR LANDSCAPING SHALL USE THE LOWEST WATER QUALITY SOURCE AVAILABLE, WHICH SHALL BE IDENTIFIED ON THE FINAL SITE PLAN. USE OF MANATEE COUNTY PUBLIC POTABLE WATER SUPPLY SHALL BE PROHIBITED.

**REQUIRED EASEMENTS**

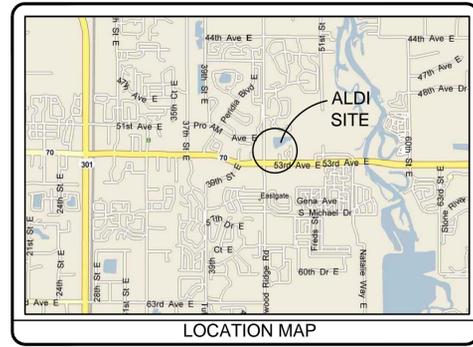
**DRAINAGE**

- DRAINAGE EASEMENT REQUIRED ALONG GAP CREEK WITHIN PROJECT BOUNDARIES
- 20' DRAINAGE-MAINTENANCE ACCESS EASEMENT REQUIRED FROM SOUTHERN TOP OF BANK

DRAINAGE EASEMENT SYMBOL: [Symbol]

20' DRAINAGE-MAINTENANCE ACCESS EASEMENT SYMBOL: [Symbol]

TEMPORARY CONSTRUCTION EASEMENT SYMBOL: [Symbol]



**MANATEE COUNTY LANDSCAPE REQUIREMENTS**

**OPEN SPACE REQUIREMENT:**

- MIN. 20% LANDSCAPED OPEN SPACE

**VUA LANDSCAPE REQUIREMENTS PER 20 SPACES:**

- 360 SQ.FT. OF LANDSCAPE AREA.
- 4 CANOPY TREES
- 20 SHRUBS (3 GAL.) OR 40 SHRUBS (1 GAL.)

**VUA PERIMETER BUFFER REQUIREMENTS:**

- 8' WIDE MIN.
- 1 CANOPY TREE PER 40 LF.
- HEDGES, SHRUBS, BERMING OR FENCING TO BE 42" IN HEIGHT AND 80% OPAQUE WITHIN 2 YEARS OF INSTALLATION.
- NOTE: ROADWAY BUFFER MAY SERVE AS PERIMETER BUFFER WHERE APPLICABLE.

**ROADWAY BUFFER REQUIREMENTS:**

- SR 70 - 10' WIDE, 2 CANOPY TREES AND 33 SHRUBS PER 100 LF
- SR 70 BUFFER LENGTH: 451.90 LF (EXCLUSIVE OF DRIVE)
- 45th St. - 10' WIDE, 2 CANOPY TREES AND 33 SHRUBS PER 100 LF
- 45th St. BUFFER LENGTH: 194.90 LF (EXCLUSIVE OF DRIVE)

**SCREENING BUFFER REQUIREMENTS:**

- EAST - 5' PLANTED BUFFER ADJACENT TO COMMERCIAL USE
- 15' PLANTED BUFFER ADJACENT TO RESIDENTIAL USE
- NORTH - 15' PLANTED BUFFER

**BUILDING FOUNDATION PLANTING REQUIREMENTS:**

- 20 SQ.FT. OF PLANTING AREA PER 1,000 SQ.FT. OF PROPOSED GFA

**CALCULATIONS**

OPEN SPACE:  
 REQUIRED MINIMUM OPEN SPACE: 20% = 168,768 SF x 0.2 = 33,754 SF  
 PROVIDED TOTAL OPEN SPACE: 45% (76,030 SF AS FOLLOWS)

- POND AREA: 19,750 SF
- LANDSCAPE BUFFERS: 11,950 SF
- WETLAND BUFFER: 17,850 SF
- VUA INTERNAL LANDSCAPE AREA: 3,150 SF
- BUILDING FOUNDATION LANDSCAPE AREA: 880 SF
- ADDITIONAL OPEN SPACE: 22,450 SF

**VUA REQUIREMENTS:**

- REQUIRED PLANTING AREA: 86/20 x 360 SQ.FT. = 1,548 SQ.FT.
- PROVIDED PLANTING AREA: 1,967 SQ.FT.
- REQUIRED CANOPY TREES: 86/20 x 4 TREES = 17 TREES
- PROVIDED CANOPY TREES: 3 TREES AND 30 PALMS EQUIVALENT TO 18 TREES TOTAL (GROUPING OF 2 PALMS = 1 TREE)
- REQUIRED SHRUBS: 86/20 x 20 SHRUBS = 86 SHRUBS
- PROVIDED SHRUBS: 96 SHRUBS

**VUA PERIMETER BUFFER REQUIREMENTS:**

- REQUIRED/PROVIDED: 8' WIDE BUFFER MIN.
- REQUIRED CANOPY TREES: 320/240 = 8 TREES
- PROVIDED CANOPY TREES: 8 TREES
- REQUIRED/PROVIDED SHRUBS: SHRUBS TO BE 42" HT. AND 80% OPAQUE WITHIN 2 YEARS OF INSTALLATION
- NOTE: ROADWAY BUFFER SERVES AS PERIMETER BUFFER ALONG SR 70

**ROADWAY BUFFER REQUIREMENTS:**

- SR 70 - REQUIRED CANOPY TREES: 451.90/100 x 2 = 9 TREES
- PROVIDED CANOPY TREES: 18 PALMS EQUIVALENT TO 9 TREES (GROUPING OF 2 PALMS = 1 TREE)
- REQUIRED SHRUBS: 451.90/100 x 33 = 149 SHRUBS
- PROVIDED SHRUBS: 150 SHRUBS
- 45th St. - REQUIRED CANOPY TREES: 194.90/100 x 2 = 4 TREES
- PROVIDED CANOPY TREES: 4 UNDERSTORY TREES PROPOSED (EXISTING OVERHEAD UTILITY LINES)
- REQUIRED SHRUBS: 194.90/100 x 33 = 65 SHRUBS
- PROVIDED SHRUBS: 65 SHRUBS

**SCREENING BUFFER REQUIREMENTS (EAST PROPERTY LINE):**

- REQUIRED CANOPY TREES: 379/100 x 2.5 TREES = 10 TREES
- PROVIDED TREES: 3 CANOPY TREES AND 7 UNDERSTORY TREES (EXISTING OVERHEAD UTILITY LINES)
- REQUIRED SHRUBS: 379/100 x 33 SHRUBS = 125 SHRUBS
- PROVIDED SHRUBS: 126 SHRUBS

NOTE: EXISTING VEGETATION ALONG NORTH PROPERTY LINE PROPOSED TO MEET SCREENING BUFFER REQUIREMENTS

**BUILDING FOUNDATION PLANTING REQUIREMENTS:**  
 REQUIRED PLANTING AREA: 20 x 17,018/1,000 = 341 SQ.FT.  
 PROVIDED PLANTING AREA: ±580 SQ.FT.

Issued:	Date:
A REZONE/PSP APPLICATION	10/3/14
B REZONE/PSP RESUBMITTAL	12/2/14
C	
D	
Revisions:	Date:
1	
2	
3	
4	
5	

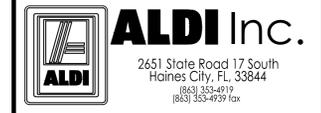
SCOTT K. STANNARD, P.E.  
 FL PE NO. 50665  
 PROJECT ENGINEER: SEAL DATE

DRAWN BY:  
 CHECKED: DATE



402 EAST 1ST AVENUE  
 EASLEY, SC 29640  
 864-855-5200

21764 STATE ROAD 54  
 LUTZ, FL 33549  
 813-885-2032



Client Name

**PLANNED DEVELOPMENT  
 COMMERCIAL REZONE/  
 PRELIMINARY SITE PLAN  
 ALDI-BRADENTON**

STATE ROUTE 70 AT 45TH STREET E.  
 MANATEE, FL

Project Name & Location

**PRELIMINARY  
 LANDSCAPE  
 PLAN**

Drawing Name: Project No.

Date: 8/19/13

Revised:

Drawn By: sks

Scale: As Shown

8 of 8

Drawing No.

